

**TOWN OF WEST NEWBURY
PLANNING BOARD
Tuesday May 21st, 2024 7:00 p.m.
AGENDA**

For Remote Participation (see below)

1. 125 River Road Continued Hearing – Eagle Nest Subdivision
2. 114 Ash Street ANR
3. Scenic Roads Memorandum
4. Potential Street Determination Policy
5. General Business:
 - Minutes – April 16, 2024; May 7, 2024
 - Correspondence
 - Administrative Details – NOI to Remove Portion of Ch. 61 Land at 23 Archelaus Place
 - Placement of Items for Future Planning Board Agendas
 - Items not Reasonably Anticipated by the Chair 48 Hours in Advance of a Meeting

The Planning Board reserves the right to take Agenda items out of order

Addendum to Meeting Notice Regarding Remote Participation

Pursuant to Chapter 2 of the Acts of 2023 that includes extending certain COVID - 19 measures adopted during the state of emergency, this meeting of the West Newbury Planning Board will be conducted via remote participation to the greatest extent possible. Members of the public who wish to view and/or listen to the meeting may do so using Zoom, by calling the telephone number or using the VideoLink listed below:

Zoom Meeting Instructions:

Phone: 1+(646) 558-8656

VideoLink: <https://us06web.zoom.us/j/82540734253?pwd=ElIdCT6aMCj5zHn7si4Vbk7frvV4TCM.1>

Meeting ID: 825 4073 4253

Passcode: 114071

- WAIVERS SOUGHT:
- 3.3.1.5 - WAIVER TO ALLOW FOR THE ELEVATIONS TO BE NAVD 1988 DATUM RATHER THAN NGVD-1929 MSL.
 - 3.3.3.1.11 - WAIVER FROM REQUIREMENT TO LOCATE ALL TREES OVER TEN (10") INCHES IN DIAMETER WITHIN RIGHT-OF-WAY.
 - 3.3.3.2.1 - WAIVER FROM REQUIREMENT TO SHOW MAJOR EXISTING FEATURES OF THE LAND SUCH AS WATERWAYS, WETLANDS IN AND WITHIN 100' OF THE SUBDIVISION.
 - 3.3.3.2.4 - WAIVER TO NOT REQUIRE AVERAGE DAILY TRAFFIC COUNTS OF THE ROADWAY.
 - 3.3.3.4.7 - WAIVER FROM REQUIREMENT FOR STREET TREES.
 - 3.3.3.4.11 - WAIVER TO REQUIRE LOCATION, SIZE, AND TYPE OF SIDEWALK, TRAILS, LIGHTING AND CURBING.
 - 3.3.3.4.12 - WAIVER FROM THE REQUIREMENT FOR DRAINAGE CALCULATIONS.
 - 3.3.3.5.13 - WAIVER FROM PROPOSED STREET TREES INCLUDING SIZE AND TYPE.
 - 4.2.4.5 - WAIVER FROM REQUIREMENT OF 250' SIGHT DISTANCE.
 - 4.2.4.9 - WAIVER FROM THE REQUIREMENT THAT THE FRONTAGE ON THE EXISTING STREET OF PARCEL SHALL BE AT LEAST THE FRONTAGE REQUIRED OF THE ZONING DISTRICT.
 - 4.2.4.11 - A WAIVER IS REQUIRED TO ALLOW FOR THE RIGHT OF WAY TO BE LESS THAN 1/2 THE FRONTAGE REQUIRED FOR THE ZONING DISTRICT AWAY FROM THE ABUTTING LOT.
 - 4.2.5.1 - WAIVER TO NOT REQUIRED CURBING FOR THIS PROPOSED SUBDIVISION.
 - 4.2.6.3 - WAIVER TO ALLOW FOR THE TRAVELED WAY WIDTH TO BE 18' AND TO NARROW DOWN TO 15' AT THE WETLAND CROSSING
 - 4.2.8.2 - WAIVER TO ALLOW FOR DEAD END DRIVEWAY (STREET) TO NOT REQUIRE A CUL-DE-SAC WITH A HAMMER HEAD TURNAROUND.
 - 4.2.8.3 - WAIVER TO NOT REQUIRE LANDSCAPED ISLAND IN CENTER OF CUL-DE-SAC AS A CUL-DE-SAC IS NOT PROPOSED.
 - 4.3.1.1 - WAIVER TO NOT REQUIRE SIDEWALKS, PEDESTRIAN OR BICYCLE TRAILS.
 - 4.3.1.5 - WAIVER TO NOT REQUIRE FOOTPATH AND TRAILS WITHIN THE SUBDIVISION.
 - 4.3.1.6 - WAIVER TO NOT REQUIRE BICYCLE PATH/RECREATION PATH.
 - 4.4 - WAIVER FROM THE REQUIREMENTS TO PROVIDE STORMWATER MANAGEMENT REQUIREMENTS AND CALCULATIONS.
 - 4.5 - WAIVER FROM THE REQUIREMENTS TO PROVIDE WATER MAINS

Definitive Subdivision "Eagle Nest" River Road West Newbury, Massachusetts

**Issued for Permitting
Not Approved for Construction**

APPROVED BY THE TOWN OF WEST NEWBURY PLANNING BOARD

DATE

DATE

DATE

FILED _____

HEARING _____

_____, CLERK OF THE TOWN OF WEST NEWBURY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SUCH NOTICE.

TOWN CLERK

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF MASSACHUSETTS.

REG. PROF. ENGINEER

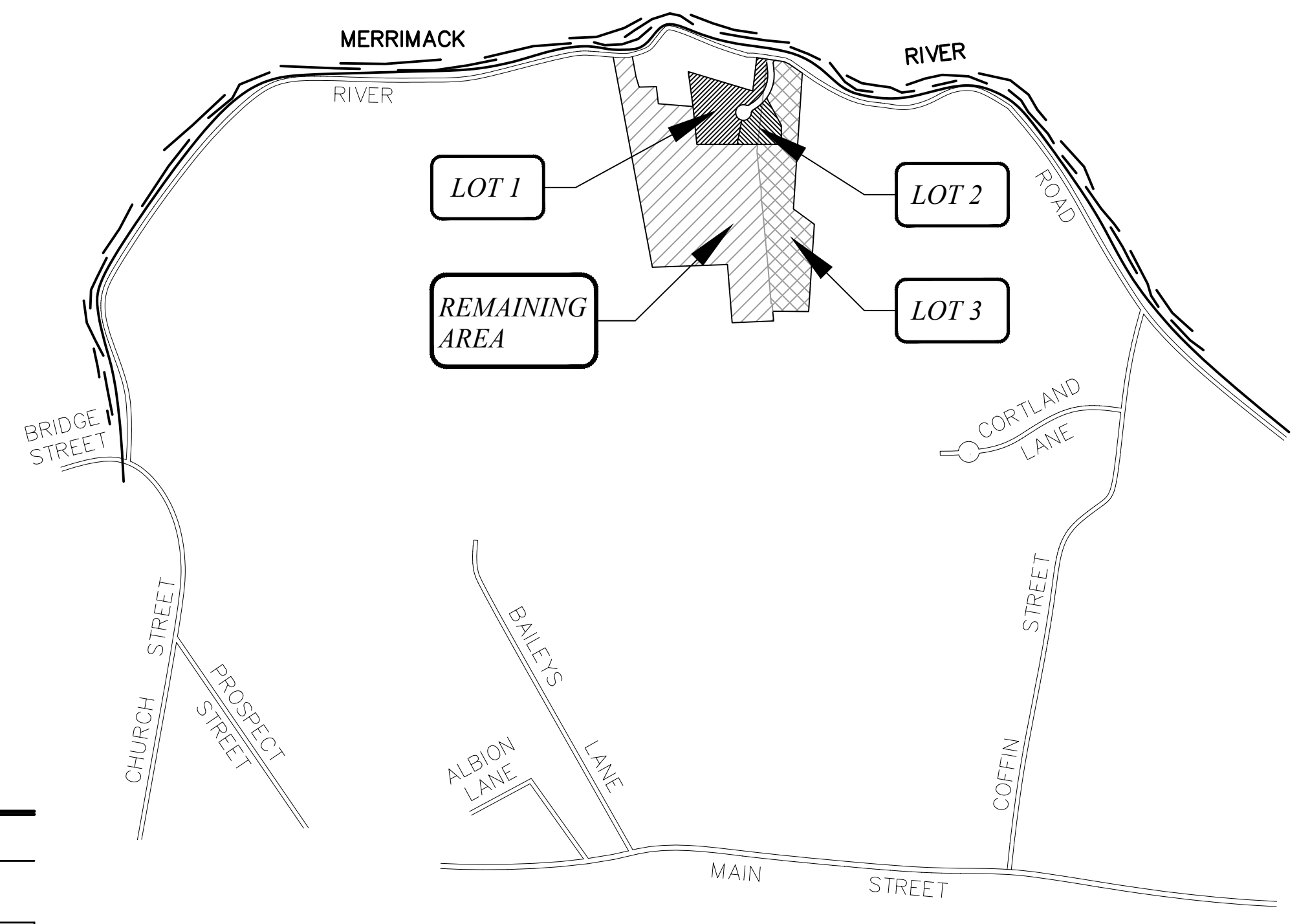
ASSESSORS/OWNERS OF RECORD:

PARCEL R24-12
FUSCO FAMILY IRREVOCABLE TRUST
ANTHONY J. FUSCO &
N. DAWNE FUSCO TRUSTEES
125 RIVER ROAD
WEST NEWBURY, MA 01985
BOOK 25609 PAGE 254
PLAN LC 33173-A

PARCEL R24-10A
SHARMAN E. GINGRICH TRUST
SHARMAN E. GINGRICH &
CHRISTOPHER F. HARRIS TRUSTEES
171 RIVER ROAD
WEST NEWBURY, MA 01985
BOOK 34827 PAGE 450
PLAN BOOK 173 PLAN 64

DEED REFERENCE:

ESRO BOOK 14031, PAGE 76
ESRO BOOK 34827, PAGE 450



LOCUS PLAN SCALE: 1"=1,200'

Zoning Summary Chart

Zoning District:	Residential B				
Zoning Regulation Requirements	Required	Proposed Lot 1	Proposed Lot 2	Proposed Lot 3	Remaining Area
MINIMUM LOT AREA	40,000 S.F.	101,477 S.F.	52,642 S.F.	563,010 S.F.	1,363,690 S.F.
PERCENT CONTIGUOUS AND BUILDABLE	30,000 S.F. (75%)	93,052 S.F.	45,800 S.F.	130,000 S.F.±	>>30,000 S.F.±
FRONTAGE	200 Feet	205.43 FEET	259.69 FEET	315.84 FEET	536.47 FEET
FRONT YARD SETBACK	40 Feet	>40 Feet	>40 Feet	>40 Feet	>40 Feet
SIDE YARD SETBACK	20 Feet	>20 Feet	>20 Feet	>20 Feet	>20 Feet
REAR YARD SETBACK	20 Feet	>20 Feet	>20 Feet	>20 Feet	>20 Feet
MINIMUM LOT WIDTH	180 Feet	294.36 Feet	271.6 Feet	356.2 Feet	388.58 Feet
MAXIMUM LOT COVERAGE	30%	4.90%	9.50%	3.00%	<30%
MAXIMUM BUILDING COVERAGE	25%	2.40%	4.60%	0.90%	<25%
MAXIMUM BUILDING HEIGHT	35 Feet	<35 Feet	<35 Feet	<35 Feet	<35 Feet

Drawing Sheet Index

Number	Drawing Title	Original Submittal Date	Revised Date
1 of 11	Cover Sheet	11/20/2023	4/29/2024
2 of 11	Overview	11/20/2023	4/29/2024
3 of 11	Lotting Sheet 1 of 3	11/20/2023	4/29/2024
4 of 11	Lotting Sheet 2 of 3	11/20/2023	4/29/2024
5 of 11	Lotting Sheet 3 of 3	11/20/2023	4/29/2024
6 of 11	Existing Conditions	11/20/2023	4/29/2024
7 of 11	Layout & Materials	11/20/2023	4/29/2024
8 of 11	Grading & Utilities	11/20/2023	4/29/2024
9 of 11	Plan & Profiles	11/20/2023	4/29/2024
10 of 11	Site Details 1	11/20/2023	4/29/2024
11 of 11	Wetland Replication Detail	11/20/2023	4/29/2024

- LEGEND:**
- EXISTING CONTOUR
 - EDGE OF WETLANDS
 - EXISTING EDGE OF WOODS
 - EXISTING WATER
 - EXISTING GAS
 - EXISTING DRAIN
 - EXISTING SEWER
 - EXISTING EDGE OF PAVEMENT
 - PROPOSED CONTOUR
 - PROPOSED WATER
 - PROPOSED STRAW BALES OR SILT SOXX
 - PROPOSED EDGE OF WOODS
 - PROPOSED RETAINING WALL
 - PROPOSED ROOF DRAIN
 - PROPOSED UNDERGROUND ELEC./TEL./COMM

Revision No.	Revision Description	Date
2	PER PEER REVIEW COMMENTS	04/29/2024
1	REVISIONS PER INITIAL PEER REVIEW	12/18/2023

**COVER SHEET
DEFINITIVE SUBDIVISION
EAGLE NEST
WEST NEWBURY, MASS.**

PREPARED FOR: MICHAEL FUSCO
DATE: NOVEMBER 23, 2023
SCALE: 1"=40'

andover
consultants
inc.

1 East River Place
Methuen, Mass. 01844
Telephone: 978-687-3828

Dennis A. Griecci
Reg. Prof. Engineer

APPROVED BY THE TOWN OF WEST NEWBURY PLANNING BOARD

DATE _____

FILED _____
HEARING _____

I, _____, CLERK OF THE TOWN OF WEST NEWBURY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SUCH NOTICE.

TOWN CLERK

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF MASSACHUSETTS.

Peter D. Goodwin
REG. PROF. LAND SURVEYOR

NOTES:

1. REMAINING AREA SHOWN IS FROM LAND COURT PLAN #33173A.
2. BUILDINGS ON REMAINING AREA AND WITHIN 50' OF LOCUS FROM GIS.

REFERENCE PLANS:

PLANS ON FILE AT THE ESSEX COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT.

- 1). PLAN BOOK 173 PLAN 64
- 2.) PLAN BOOK 39282 PLAN 206
- 3.) PLAN BOOK 164 PLAN 207
- 4.) LAND COURT PLAN 33173-B
- 5.) LAND COURT PLAN 33173-A

ASSESSORS REFERENCE:

MAP R24 LOT 12
MAP R24 LOT 10A

ZONING DISTRICT: RB

3	PER PEER REVIEW COMMENTS	APR. 29, 2024
2	ADJUST REMAINING AREA FOR ZONING	FEB. 26, 2024
1	REVISIONS PER INITIAL PEER REVIEW	DEC.18, 2023

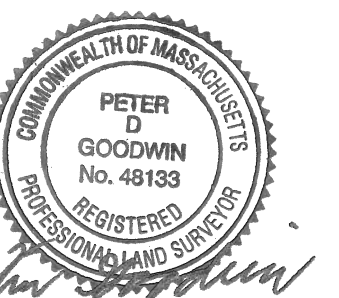
Revision No.	Revision Description	Date
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**DEFINITIVE SUBDIVISION OVERVIEW PLAN
RIVER ROAD
WEST NEWBURY, MASS.**

PREPARED FOR: MICHAEL FUSCO
DATE: JANUARY 19, 2023
SCALE: 1"=100'



1 East River Place
Methuen, Mass. 01844
Telephone: 978-687-3828
Peter D. Goodwin
Reg. Prof. Land Surveyor
0 100 200 300 400 Ft.
0 25 50 100 Meter



OWNERS OF RECORD:

FUSCO FAMILY IRREVOCABLE TRUST
ANTHONY J. FUSCO &
N. DAWNE FUSCO TRUSTEES
125 RIVER ROAD
WEST NEWBURY, MA 01985
BOOK 25609 PAGE 254
PLAN LC 33173-A

SHARMAN E. GINGRICH TRUST
SHARMAN E. GINGRICH &
CHRISTOPHER F. HARRIS TRUSTEES
171 RIVER ROAD
WEST NEWBURY, MA 01985
BOOK 34827 PAGE 450
PLAN BOOK 173 PLAN 64

N/F
ALBERT TING & NANCY PAU
181 RIVER ROAD
DEED BK. 39309 PG. 46
PLAN BK. 39282 PG. 206
MAP R24 LOT 8

N/F
MARCOS & MARGARET
GONCALVES
177 RIVER ROAD
DEED BK. 3960 PG. 272
PLAN BK. 164 PG. 87
MAP R24 LOT 9

N/F
GAURINO FAMILY REAL ESTATE TRUST
BK 73 RIVER ROAD
BK 1897 PG. 576
PLAN BK 773 PG. 64
MAP R24 LOT 10

REMAINING AREA

1,363,690 ±S.F.
31.306 ±ACRES

REMAINING LAND
FUSCO FAMILY IRREVOCABLE TRUST
125 RIVER ROAD
LOT R24-12

N/F
FUSCO FAMILY IRREVOCABLE TRUST
0 LONG HILL PASTURE
DEED BK. 25609 PG. 254
MAP R24 LOT 13

LOT 1
101,477 S.F.
2.330 ACRES

LOT 2
52,642 S.F.
1.208 ACRES

LOT 3
563,010 S.F.
12.925 ACRES

N/F JOHN & DENISE COLLINS 151 RIVER ROAD DEED BK. 12952 PG. 307 MAP 24R LOT 12C

N/F SHARMAN E. GINGRICH TRUST 171 RIVER ROAD WEST NEWBURY, MA 01985 BOOK 34827 PAGE 450 PLAN BOOK 173 PLAN 64 MAP R24-10A

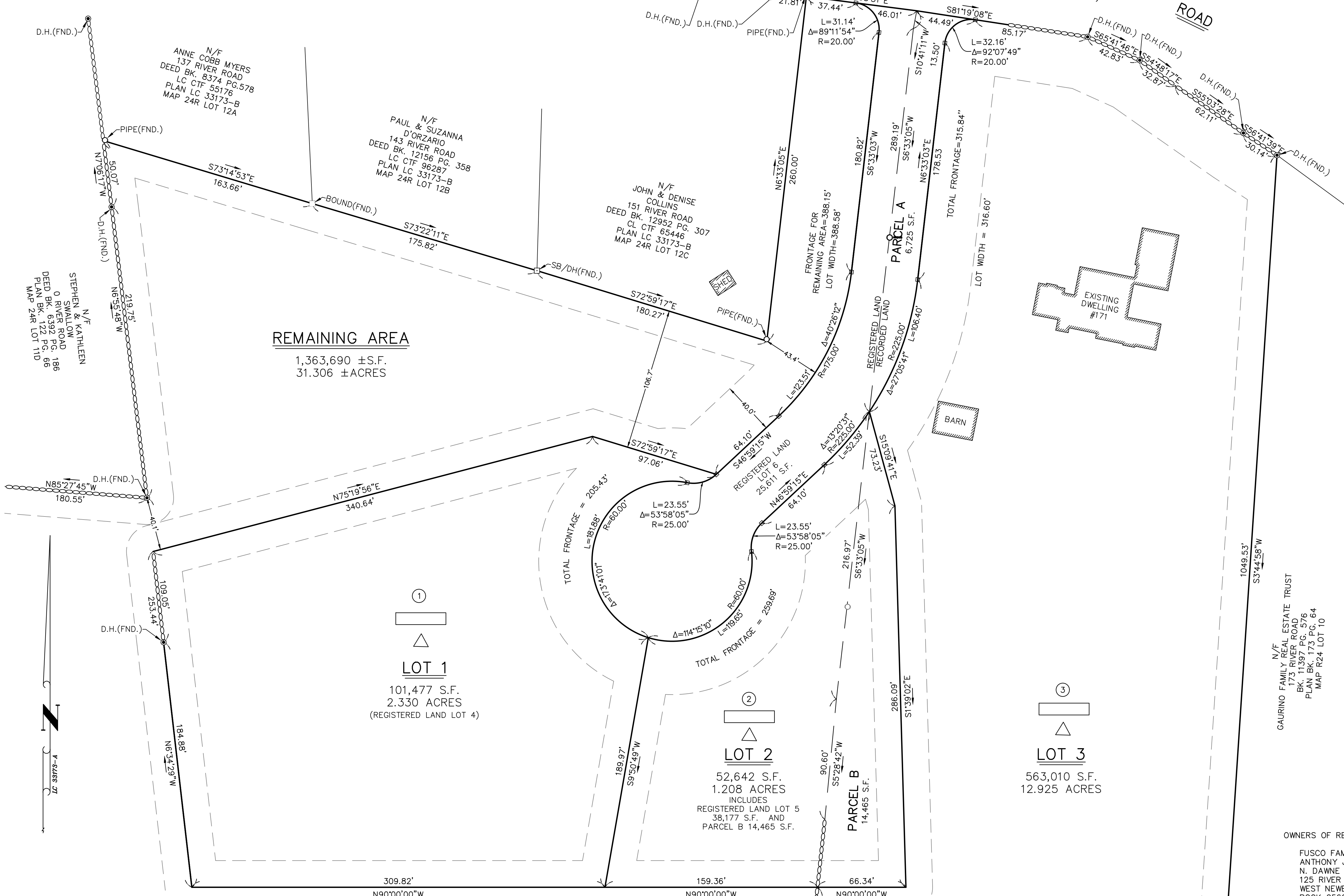
APPROVED BY THE TOWN OF WEST NEWBURY PLANNING BOARD

DATE HEARING TOWN CLERK

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I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF MASSACHUSETTS. Peter D. Goodwin REG. PROF. LAND SURVEYOR

DEPICTS STONE BOUND TO BE SET



REMAINING AREA 1,363,690 ±S.F. 31.306 ±ACRES

LOT 1 101,477 S.F. 2.330 ACRES (REGISTERED LAND LOT 4)

LOT 2 52,642 S.F. 1.208 ACRES INCLUDES REGISTERED LAND LOT 5 38,177 S.F. AND PARCEL B 14,465 S.F.

LOT 3 563,010 S.F. 12.925 ACRES

REMAINING AREA 1,363,690 ±S.F. 31.306 ±ACRES

ZONING SUMMARY TABLE - RB with columns for REQUIRED, PROPOSED LOT 1, PROPOSED LOT 2, PROPOSED LOT 3, and REMAINING AREA. Rows include LOT AREA, CBA, FRONTAGE, setbacks, LOT WIDTH, MAX COVERAGE, and MAX. HEIGHT.

- REFERENCE PLANS: PLANS ON FILE AT THE ESSEX COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT. 1.) PLAN BOOK 173 PLAN 64 2.) PLAN BOOK 39282 PLAN 206 3.) PLAN BOOK 164 PLAN 207 4.) LAND COURT PLAN 33173-B 5.) LAND COURT PLAN 33173-A

Revision log table with columns: Revision No., Revision Description, Date. Includes entries for peer review comments, area adjustments, and initial review.

OWNERS OF RECORD: FUSCO FAMILY IRREVOCABLE TRUST ANTHONY J. FUSCO & N. DAWNE FUSCO TRUSTEES 125 RIVER ROAD WEST NEWBURY, MA 01985 BOOK 25609 PAGE 254 PLAN LC 33173-A

DEFINITIVE SUBDIVISION PLAN LOTTING SHEET 1 OF 3 EAGLE NEST WEST NEWBURY, MASS. PREPARED FOR: MICHAEL FUSCO DATE: NOVEMBER 20, 2023 SCALE: 1" = 40'. Includes logo for andover consultants inc. and a scale bar.

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF MASSACHUSETTS.
Peter D. Goodwin
 REG. PROF. LAND SURVEYOR

SHEET 2
MATCH LINE

REMAINING AREA
 1,363,690 ± S.F.
 31.306 ± ACRES
 REMAINING LAND
 FUSCO FAMILY IRREVOCABLE TRUST
 125 RIVER ROAD
 LOT R24-12

LOT 3
 563,010 S.F.
 12.925 ACRES

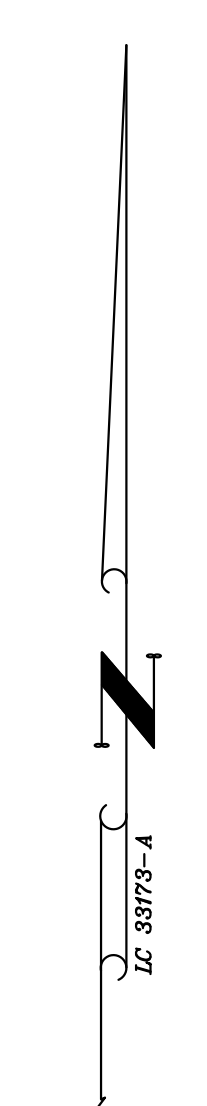
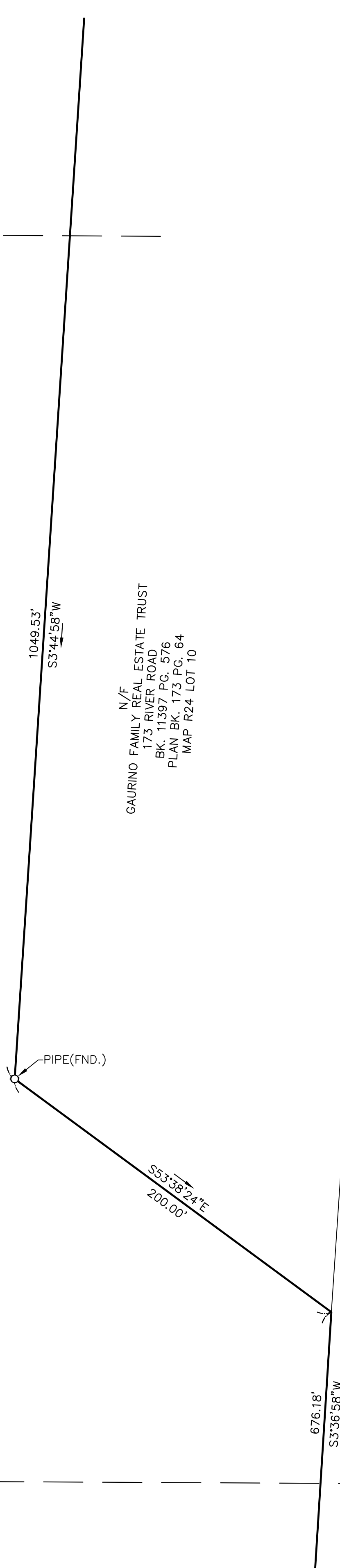
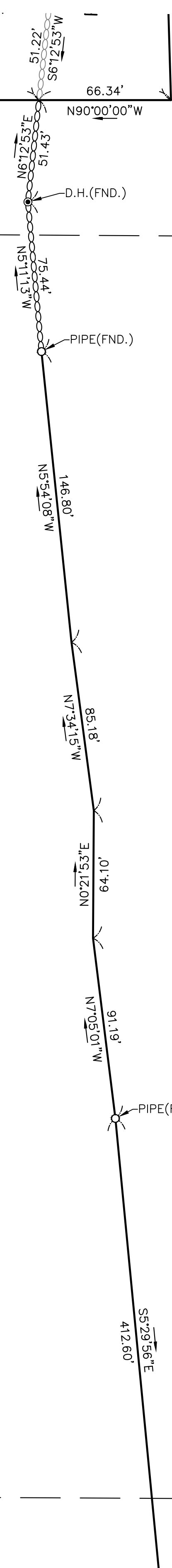
APPROVED BY THE TOWN OF WEST NEWBURY PLANNING BOARD

DATE

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TOWN CLERK



MATCH LINE
SHEET 4

Revision No.	Revision Description	Date
3	PER PEER REVIEW COMMENTS	APR. 29, 2024
1	REVISIONS PER INITIAL PEER REVIEW	DEC.18, 2023

DEFINITIVE SUBDIVISION PLAN
LOTING SHEET 2 OF 3
EAGLE NEST
WEST NEWBURY, MASS.

PREPARED FOR: MICHAEL FUSCO
 DATE: NOVEMBER 20, 2023
 SCALE: 1"=40'

andover consultants inc.
 1 East River Place
 Methuen, Mass. 01844
 Telephone: 978-687-3828

Peter D. Goodwin
 Reg. Prof. Land Surveyor

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF MASSACHUSETTS.
Peter D. Goodwin
 REG. PROF. LAND SURVEYOR

SHEET 2
 MATCH LINE

REMAINING AREA
 1,363,690 ±S.F.
 31.306 ±ACRES
 REMAINING LAND
 FUSCO FAMILY IRREVOCABLE TRUST
 125 RIVER ROAD
 MAP R24 LOT 12

LOT 3
 563,010 S.F.
 12.925 ACRES

N/F
 FUSCO FAMILY IRREVOCABLE TRUST
 0 LONG HILL PASTURE
 DEED BK. 25609 PG. 254
 MAP R24 LOT 13

N/F
 MARCOS & MARGARET
 CONCALVES
 17 RIVER ROAD
 DEED BK. 39801 PG. 272
 PLAN BK. 39801 PG. 87
 MAP R24 LOT 9

APPROVED BY THE TOWN OF WEST NEWBURY PLANNING BOARD

DATE _____
 FILED _____
 HEARING _____

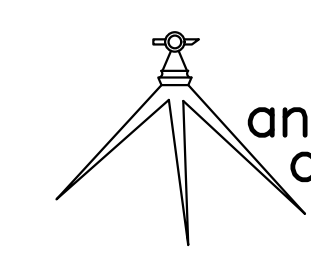
 CLERK OF THE TOWN OF WEST NEWBURY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SUCH NOTICE.

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**DEFINITIVE SUBDIVISION PLAN
 LOTTING SHEET 3 OF 3
 EAGLE NEST
 WEST NEWBURY, MASS.**

PREPARED FOR: MICHAEL FUSCO
 DATE: NOVEMBER 20, 2023
 SCALE: 1" = 40'

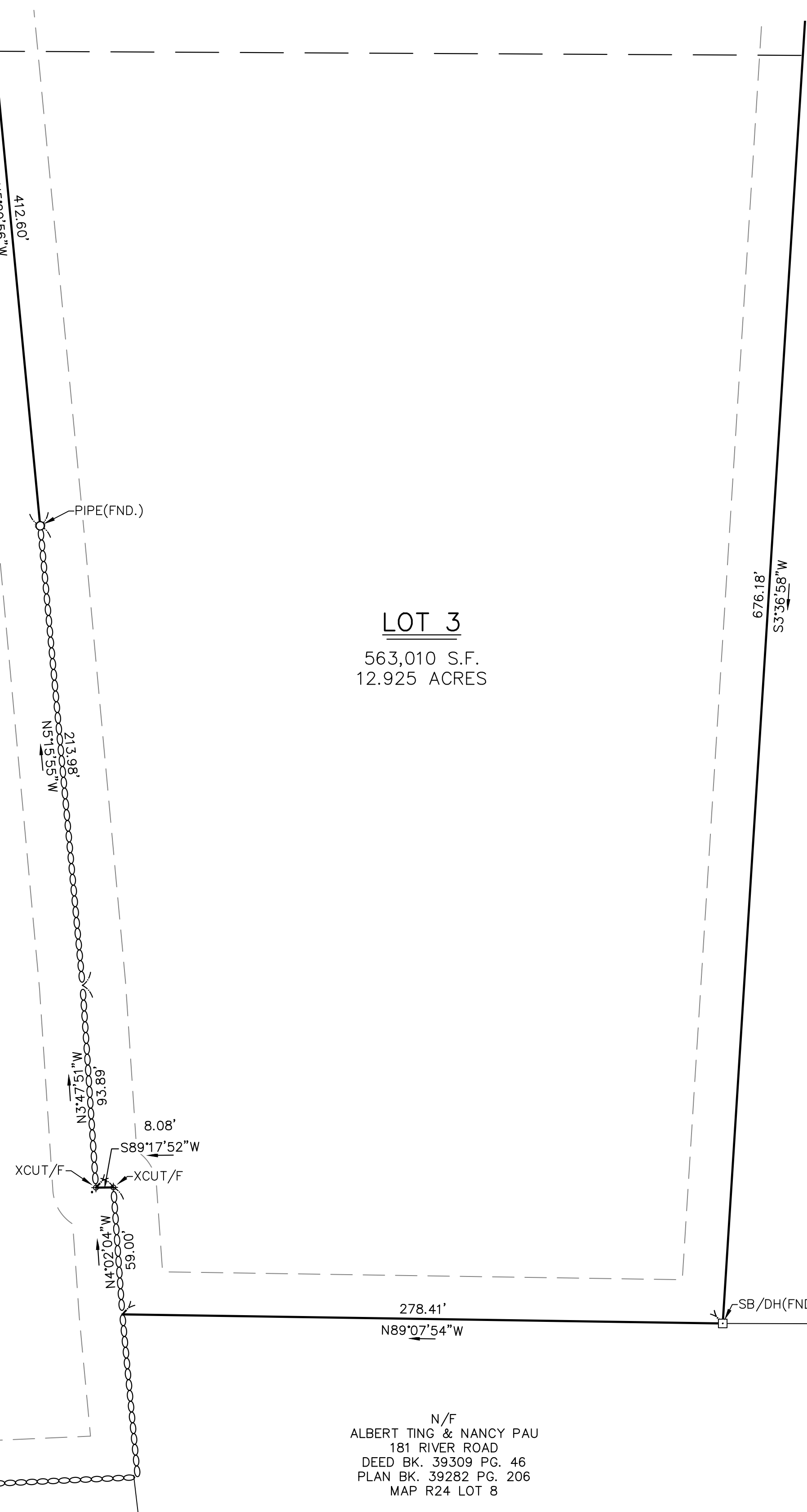


andover consultants inc.

1 East River Place
 Methuen, Mass. 01844
 Telephone: 978-687-3828



Peter D. Goodwin
 Peter D. Goodwin
 Reg. Prof. Land Surveyor



N/F
 ALBERT TING & NANCY PAU
 181 RIVER ROAD
 DEED BK. 39309 PG. 46
 PLAN BK. 39282 PG. 206
 MAP R24 LOT 8

N/F
 FUSCO FAMILY IRREVOCABLE TRUST
 0 LONG HILL PASTURE
 DEED BK. 25609 PG. 254
 MAP R24 LOT 13

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REG. PROF. LAND SURVEYOR

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NOTE:
1. THE APPROXIMATE WETLAND RESOURCE AREAS ON 171 RIVER ROAD AS SHOWN ON THE PLANS ARE NOT CONFIRMED BY THE WEST NEWBURY CONSERVATION COMMISSION. THIS INFORMATION SHALL NOT BE USED AS DELINEATION OF THESE WETLAND RESOURCES FOR FUTURE PROJECTS.

- LEGEND:
- EXISTING CONTOUR
 - PAVEMENT EDGE
 - RETAINING WALL
 - RIVER BANK FLAG
 - CONIFEROUS TREE DBH
 - DECIDUOUS TREE DBH
 - TREELINE
 - U-POLE & GUY WIRE
 - WETLAND FLAG
 - WETLANDS

Revision No.	Revision Description	Date
3	PER PEER REVIEW COMMENTS	APR. 29, 2024
1	REVISIONS PER INITIAL PEER REVIEW	DEC.18, 2023

**DEFINITIVE SUBDIVISION
EXISTING CONDITIONS PLAN
EAGLE NEST
WEST NEWBURY, MASS.**

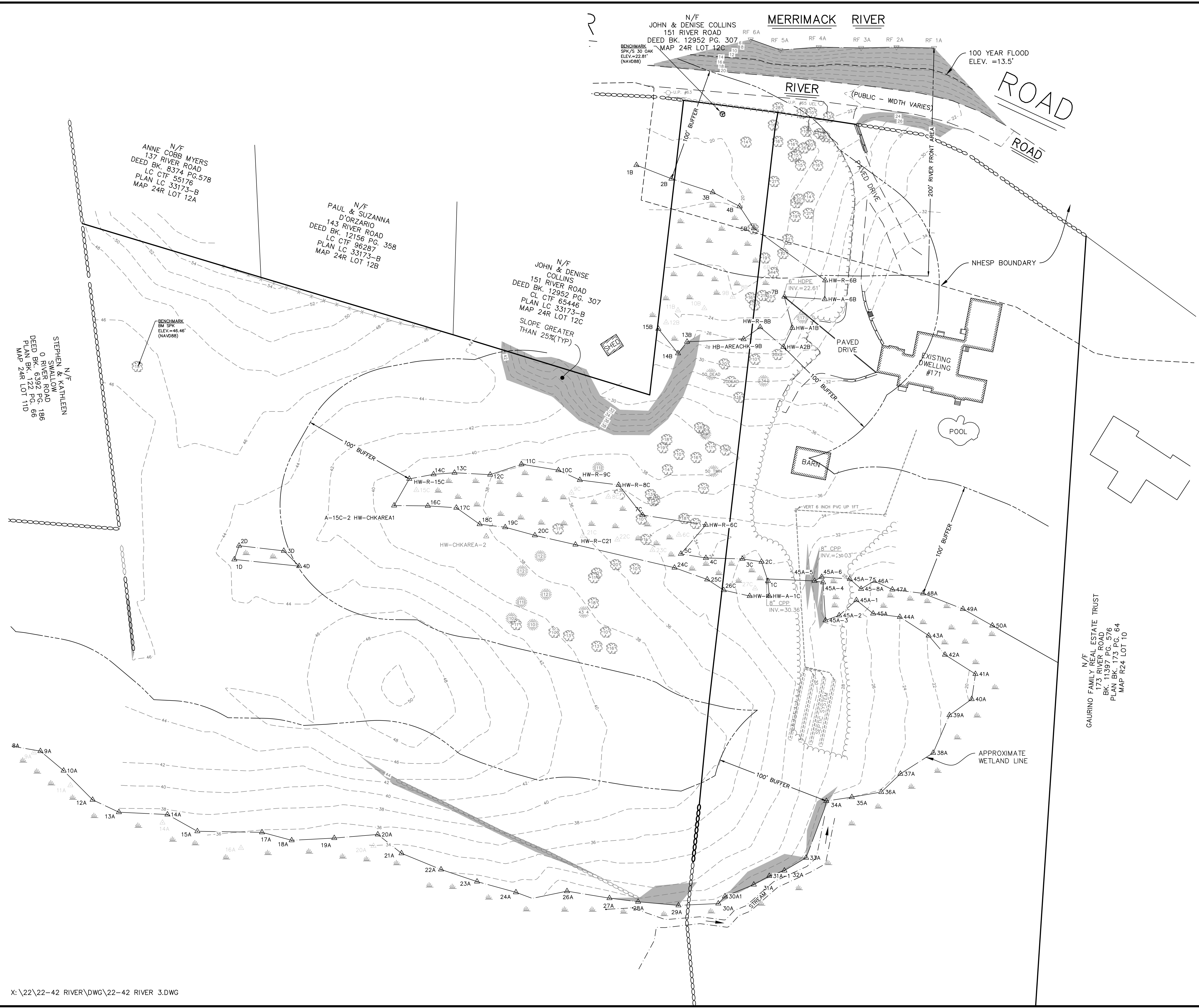
PREPARED FOR: MICHAEL FUSCO
DATE: NOVEMBER 20, 2023
SCALE: 1" = 40'

andover consultants inc.

1 East River Place
Methuen, Mass. 01844
Telephone: 978-687-3828

Peter D. Goodwin
Reg. Prof. Land Surveyor

0 40 80 120 160 Ft.
0 10 20 40 Meter



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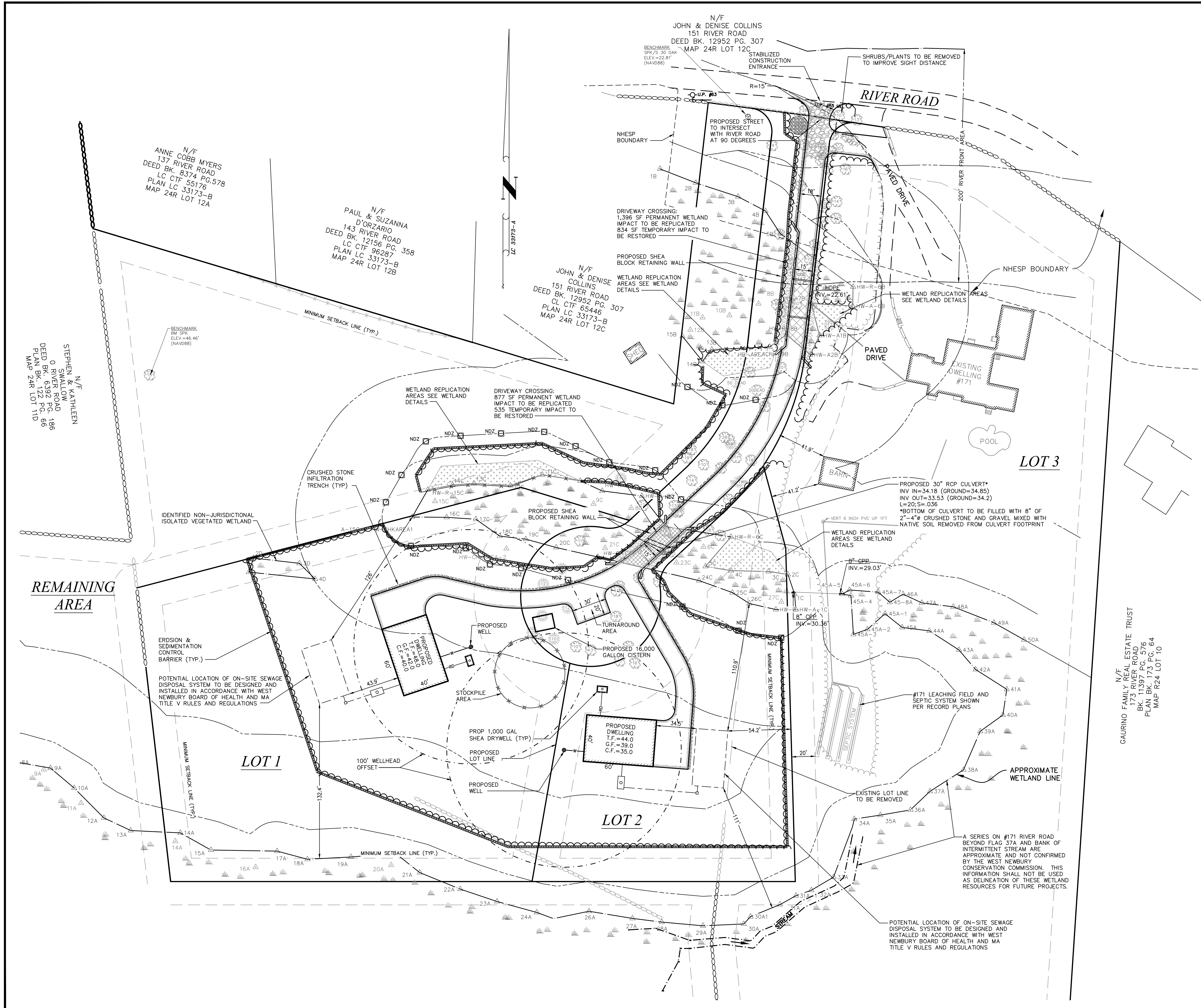
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ANTHONY J. FUSCO &
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125 RIVER ROAD
WEST NEWBURY, MA 01985
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PARCEL R24-10A
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171 RIVER ROAD
WEST NEWBURY, MA 01985
BOOK 34827 PAGE 450
PLAN BOOK 173 PLAN 64

DEED REFERENCE:

ESRO BOOK 14031, PAGE 76
ESRO BOOK 34827, PAGE 450



REMAINING AREA

LOT 1

LOT 2

LOT 3

Revision No.	Revision Description	Date
2	PER PEER REVIEW COMMENTS	04/29/2024
1	REVISIONS PER INITIAL PEER REVIEW	12/18/2023

DEFINITIVE SUBDIVISION LAYOUT & MATERIALS PLAN
EAGLE NEST
WEST NEWBURY, MASS.

PREPARED FOR: MICHAEL FUSCO
 DATE: NOVEMBER 20, 2023
 SCALE: 1"=40'

1 East River Place
 Methuen, Mass. 01844
 Telephone: 978-687-3828

Dennis A. Griecci
 Reg. Prof. Engineer

APPROVED BY THE TOWN OF WEST NEWBURY PLANNING BOARD

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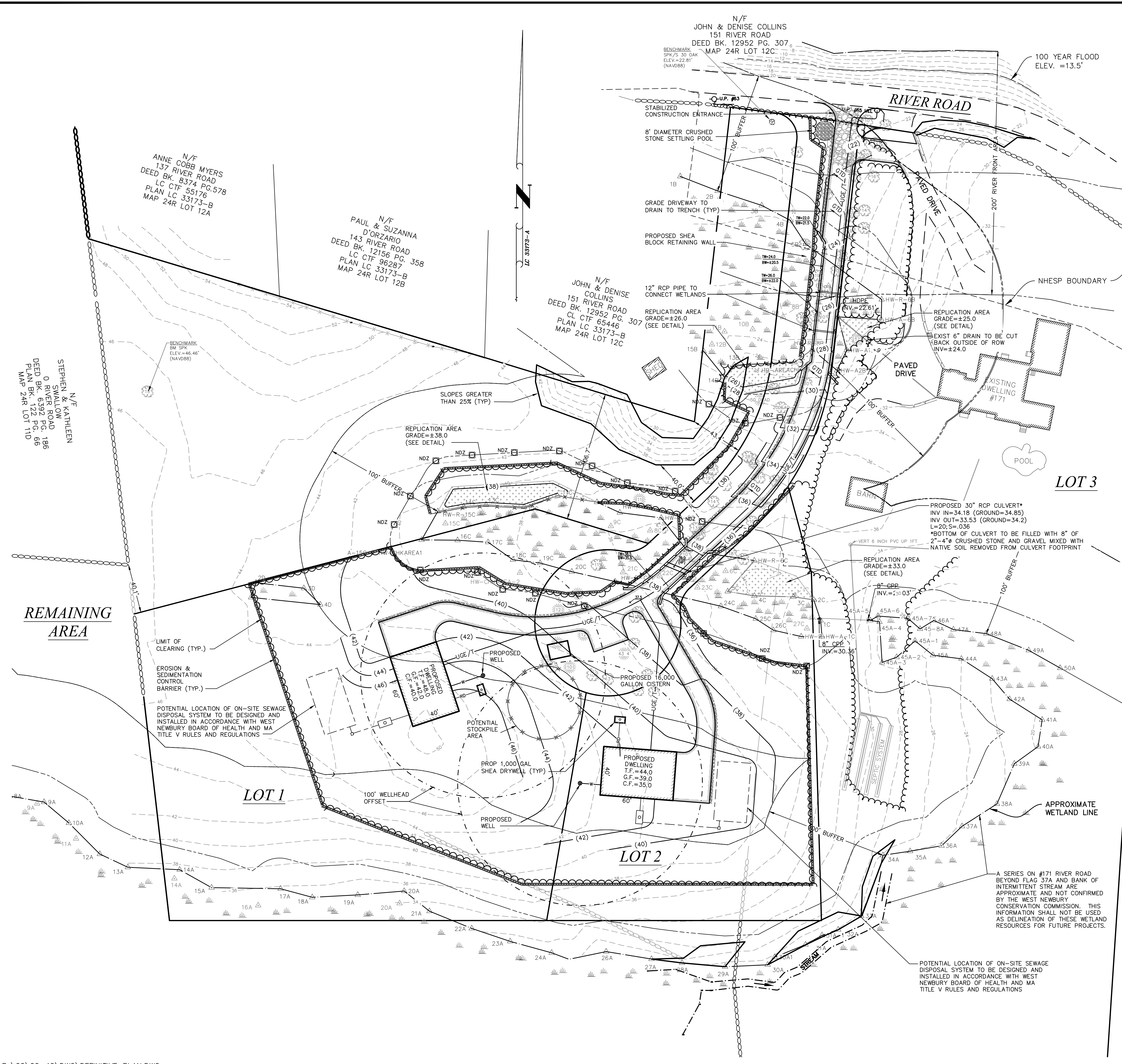
TOWN CLERK

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REG. PROF. ENGINEER

General Notes

- 1. ALL STORMWATER MANAGEMENT SYSTEMS SHOWN ON THIS PLAN (INCLUDING CULVERTS) SHALL BE OWNED AND MAINTAINED BY THE RESIDENTS OF THE SUBDIVISION...
2. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS...
3. ALL EARTHEN MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAWS...
4. CONTRACTOR SHALL NOTIFY "DIG-SAFE" AT LEAST 72 HOURS BEFORE EXCAVATING...
5. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE...
6. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR...
7. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS...
8. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM...
9. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR...
10. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES...
11. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES...
12. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES, AND REMOVE SEDIMENT THEREFROM...
13. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS...
14. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED...
15. ELEVATIONS ARE BASED ON NAVD 1988 DATUM...
16. WETLAND FLAGS WERE SET BY NORSE ENVIRONMENTAL SERVICES IN DECEMBER OF 2022 AND JULY OF 2023...
17. NO COMPONENTS OF ANY PRIVATE IRRIGATION SYSTEM SHALL BE INSTALLED WITHIN THE STREET RIGHT-OF-WAY...
18. ELECTRICAL TRANSFORMERS SHALL BE LOCATED OUTSIDE THE TOWN'S RIGHT-OF-WAY...
19. DEWATERING ACTIVITIES SHALL USE TANKS, FILTER BAGS, OR OTHER PRACTICES TO REMOVE SEDIMENT BEFORE DISCHARGE...
20. TRASH, DEBRIS, AND SANITARY WASTES SHALL BE REMOVED FROM THE SITE ON A REGULAR BASIS...
21. STORMWATER MANAGEMENT FACILITIES TO BE USED AFTER CONSTRUCTION SHALL NOT BE USED AS BMPs DURING CONSTRUCTION...
22. DUST CONTROL SHALL BE USED DURING GRADING OPERATIONS...
23. SOIL TESTING SHALL BE DONE IN THE LOCATION OF PROPOSED ROOF DRYWELLS AND FINAL LOCATIONS, ELEVATIONS, AND OTHER APPLICABLE DESIGN INFORMATION OF THE DRYWELLS SHALL BE SUBMITTED TO THE PLANNING BOARD PRIOR TO INSTALLATION.



N/F ANNE COBB MYERS 137 RIVER ROAD DEED BK. 8374 PG.578 LC CTF 55176 PLAN LC 33173-B MAP 24R LOT 12A

N/F PAUL & SUZANNA D'ORZARIO 143 RIVER ROAD DEED BK. 12156 PG. 358 LC CTF 96287 PLAN LC 33173-B MAP 24R LOT 12B

N/F JOHN & DENISE COLLINS 151 RIVER ROAD DEED BK. 12952 PG. 307 CL CTF 65446 PLAN LC 33173-B MAP 24R LOT 12C

N/F STEPHEN & KATHLEEN SMALL ROAD DEED BK. 01992 PG. 186 PLAN BK. 122 PG. 66 MAP 24R LOT 11D

N/F GAURINO FAMILY REAL ESTATE TRUST 173 RIVER ROAD BK. 11397 PG. 576 MAP 24R LOT 10

PARCEL R24-12 FUSCO FAMILY IRREVOCABLE TRUST ANTHONY J. FUSCO & N. DANNEZ FUSCO TRUSTEES 125 RIVER ROAD WEST NEWBURY, MA 01985 BOOK 25609 PAGE 254 PLAN LC 33173-A
PARCEL R24-10A SHARMAN E. GINGRICH TRUST SHARMAN E. GINGRICH & CHRISTOPHER F. HARRIS TRUSTEES 171 RIVER ROAD WEST NEWBURY, MA 01985 BOOK 34827 PAGE 450 PLAN BOOK 173 PLAN 64

DEED REFERENCE: ERSO BOOK 14031, PAGE 76 ERSO BOOK 34827, PAGE 450

Table with 3 columns: Revision No., Revision Description, Date. Contains two entries for peer review comments and revisions.

DEFINITIVE SUBDIVISION GRADING & UTILITIES PLAN EAGLE NEST WEST NEWBURY, MASS.

PREPARED FOR: MICHAEL FUSCO DATE: NOVEMBER 20, 2023 SCALE: 1"=40'

andover consultants inc. 1 East River Place Methuen, Mass. 01844 Telephone: 978-687-3828



Dennis A. Griecci Reg. Prof. Engineer



APPROVED BY THE TOWN OF WEST NEWBURY PLANNING BOARD

DATE _____
 FILED _____
 HEARING _____

CLERK OF THE TOWN OF WEST NEWBURY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SUCH NOTICE.

TOWN CLERK

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF MASSACHUSETTS.

REG. PROF. ENGINEER

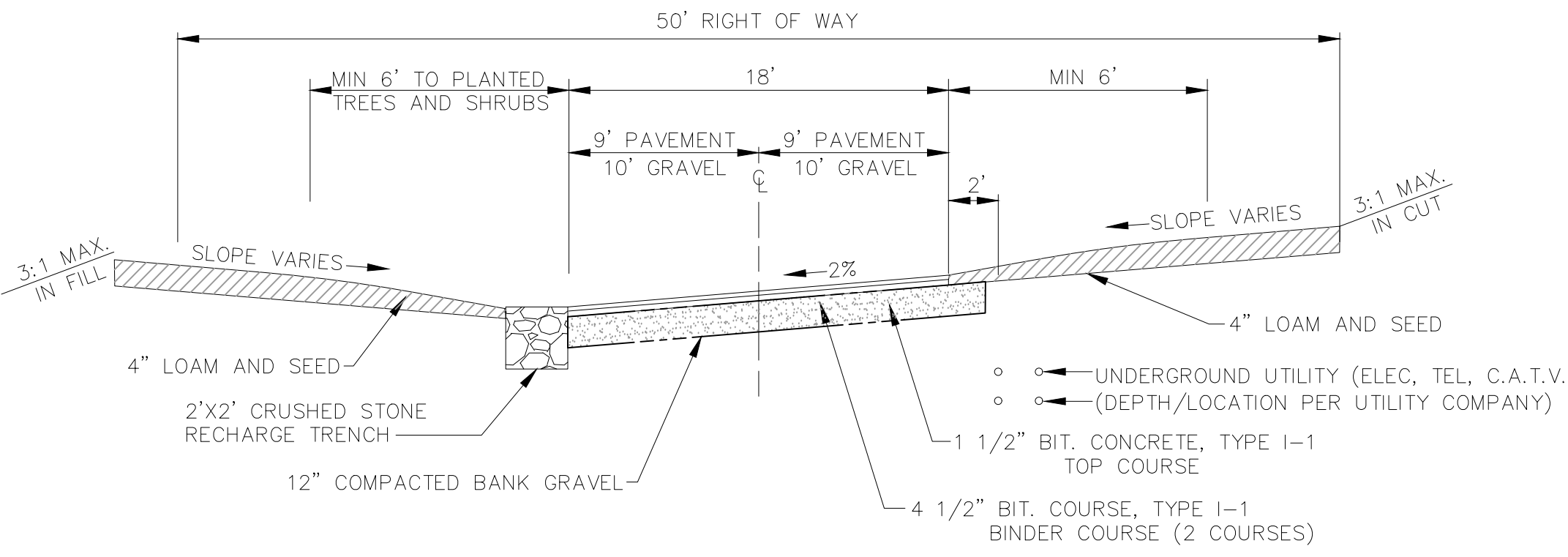
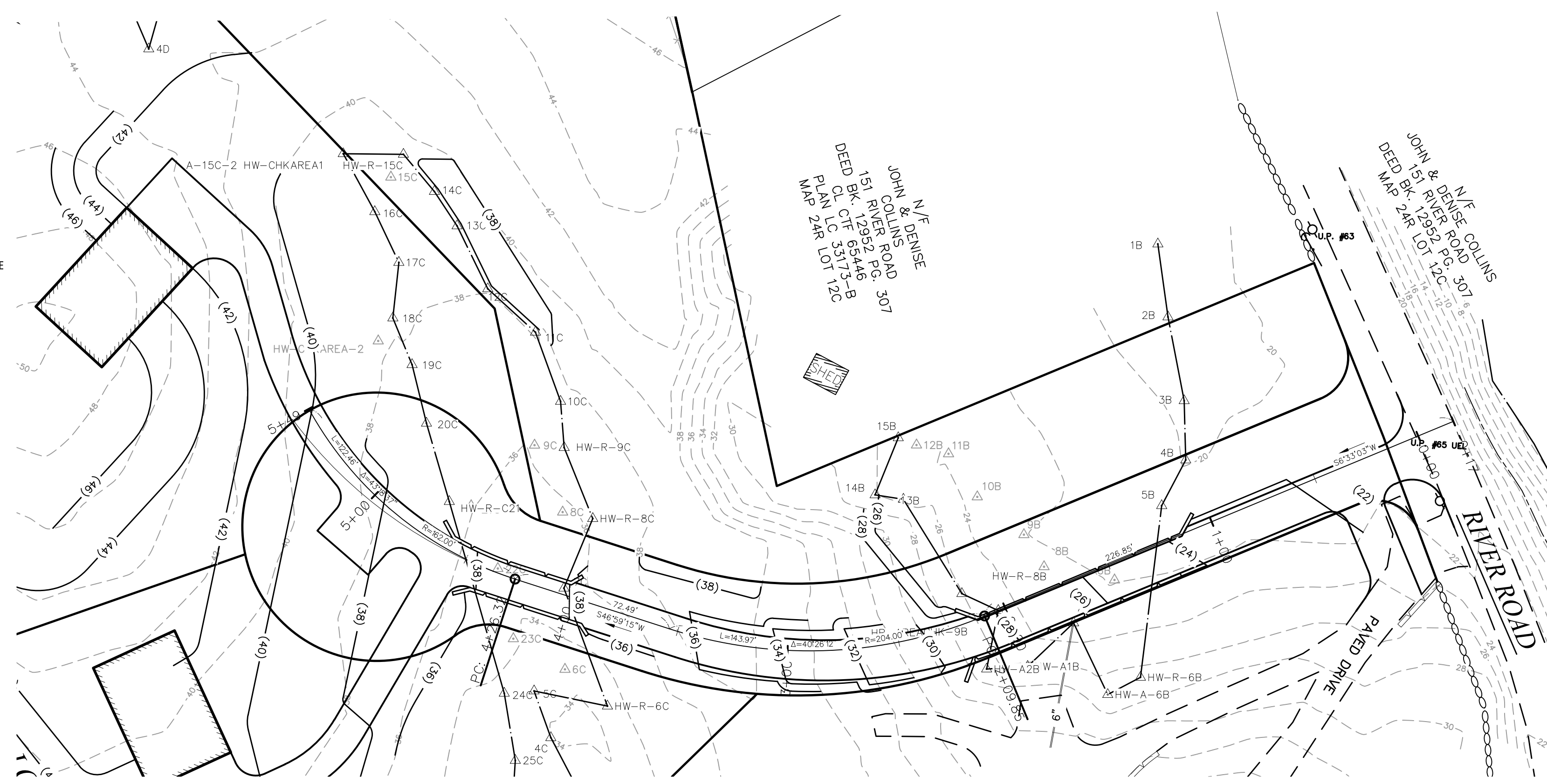
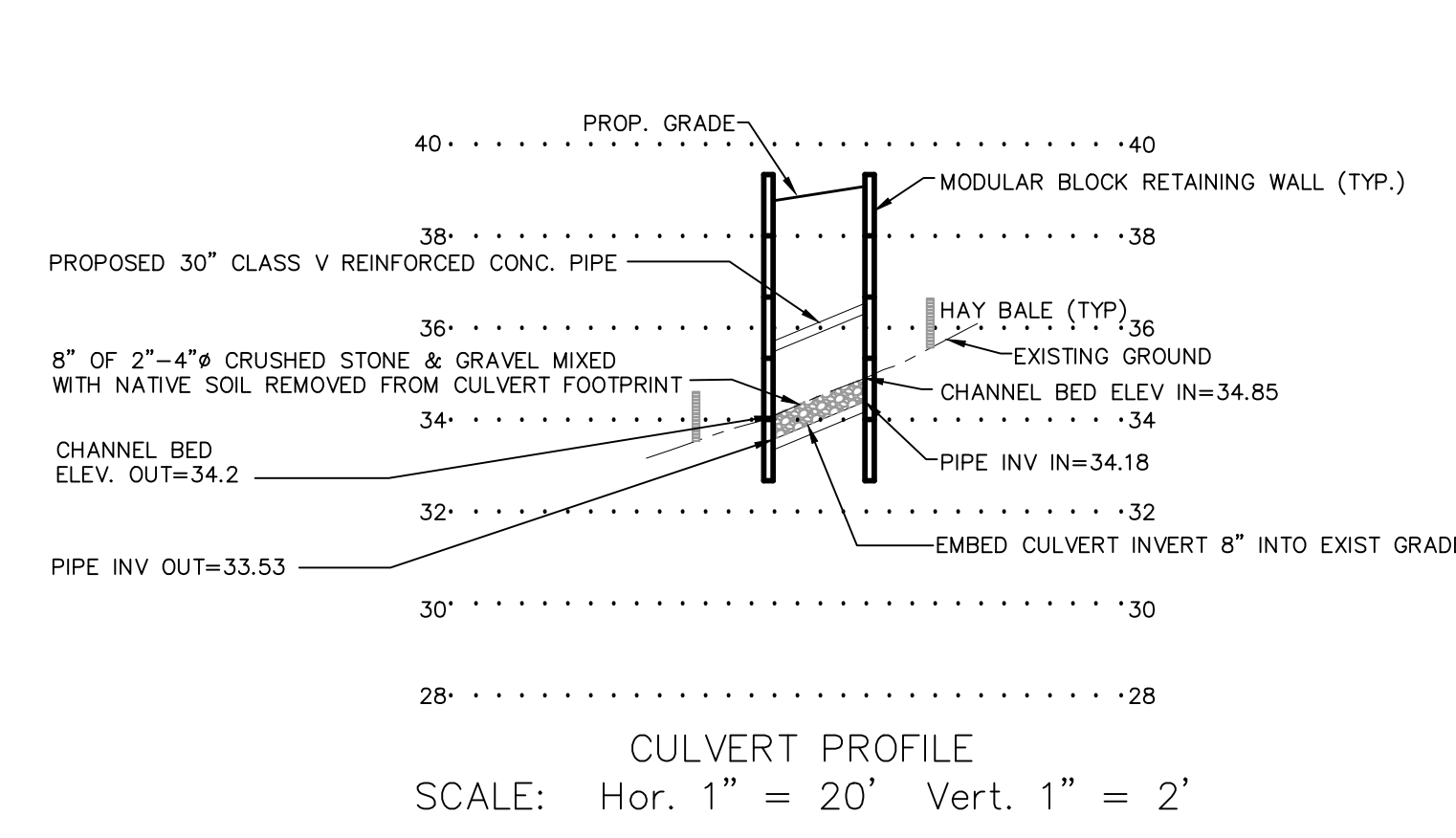
ASSESSORS/OWNERS OF RECORD:

PARCEL R24-12
 FUSCO FAMILY IRREVOCABLE TRUST
 ANTHONY J. FUSCO &
 N. DAWNE FUSCO TRUSTEES
 125 RIVER ROAD
 WEST NEWBURY, MA 01985
 BOOK 25609 PAGE 254
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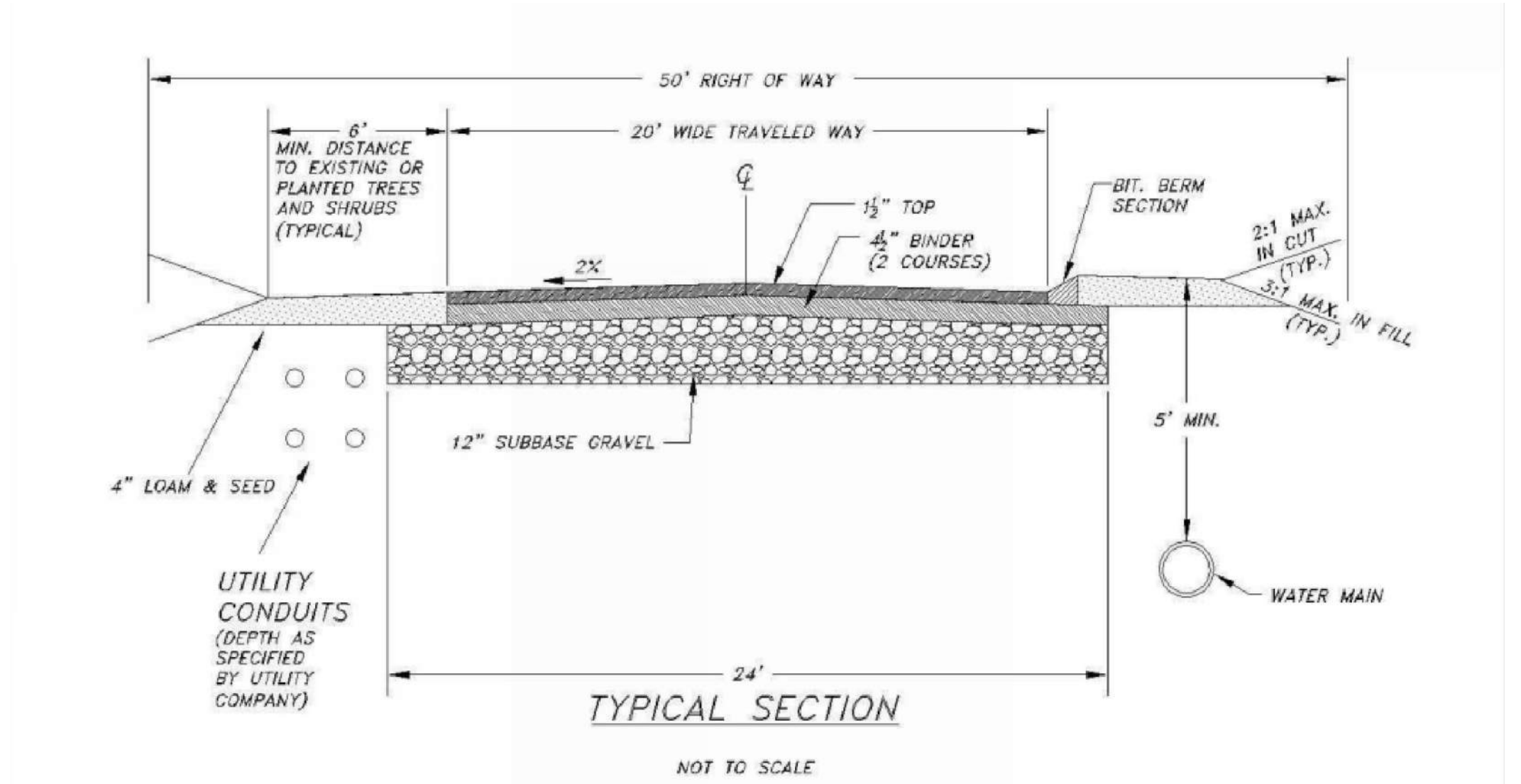
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DEED REFERENCE:

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 ESRO BOOK 34827, PAGE 450

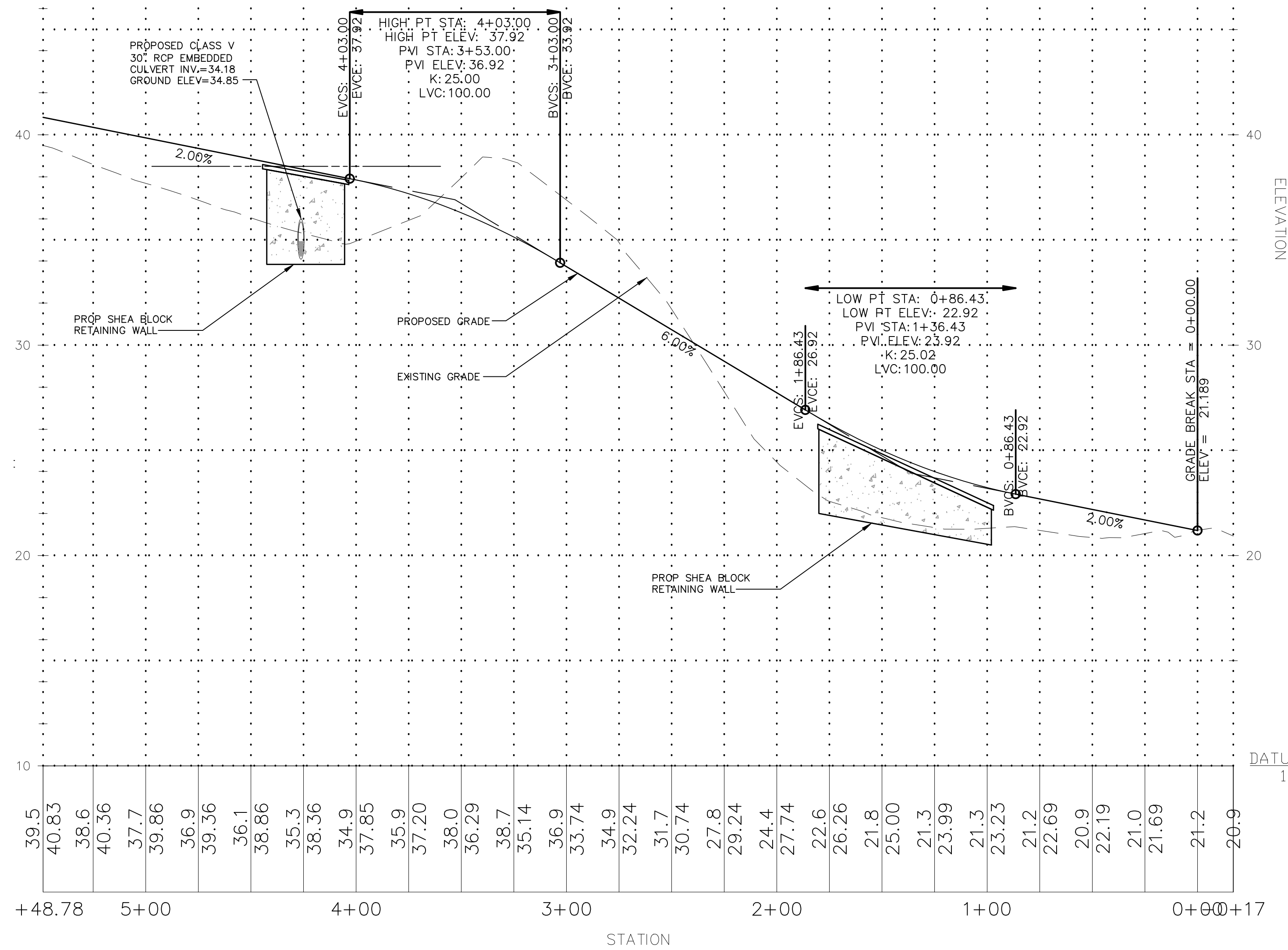


REQUESTED TYPICAL ROADWAY SECTION
 50 FOOT RIGHT OF WAY
 NOT TO SCALE



TYPICAL SECTION
 NOT TO SCALE

TOWN OF WEST NEWBURY
 CONSTRUCTION DETAILS
 2006
 MINOR LOCAL ACCESS ROAD



DRIVEWAY PROFILE - SCALE: Hor. 1" = 20' Vert. 1" = 2'

DATUM ELEV 10.000

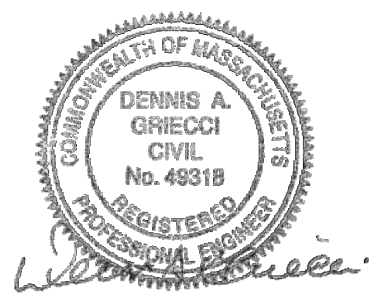
Revision No.	Revision Description	Date
2	PER PEER REVIEW COMMENTS	04/29/2024
1	REVISIONS PER INITIAL PEER REVIEW	12/18/2023

DEFINITIVE SUBDIVISION
 PLAN & PROFILE
 EAGLE NEST
 WEST NEWBURY, MASS.

PREPARED FOR: MICHAEL FUSCO
 DATE: NOVEMBER 20, 2023
 SCALE: 1" = 40'



1 East River Place
 Methuen, Mass. 01844
 Telephone: 978-687-3828



Dennis A. Griecci
 Reg. Prof. Engineer



APPROVED BY THE TOWN OF WEST NEWBURY PLANNING BOARD

DATE _____

 FILED _____
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_____, CLERK OF THE TOWN OF WEST NEWBURY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SUCH NOTICE.

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REG. PROF. ENGINEER

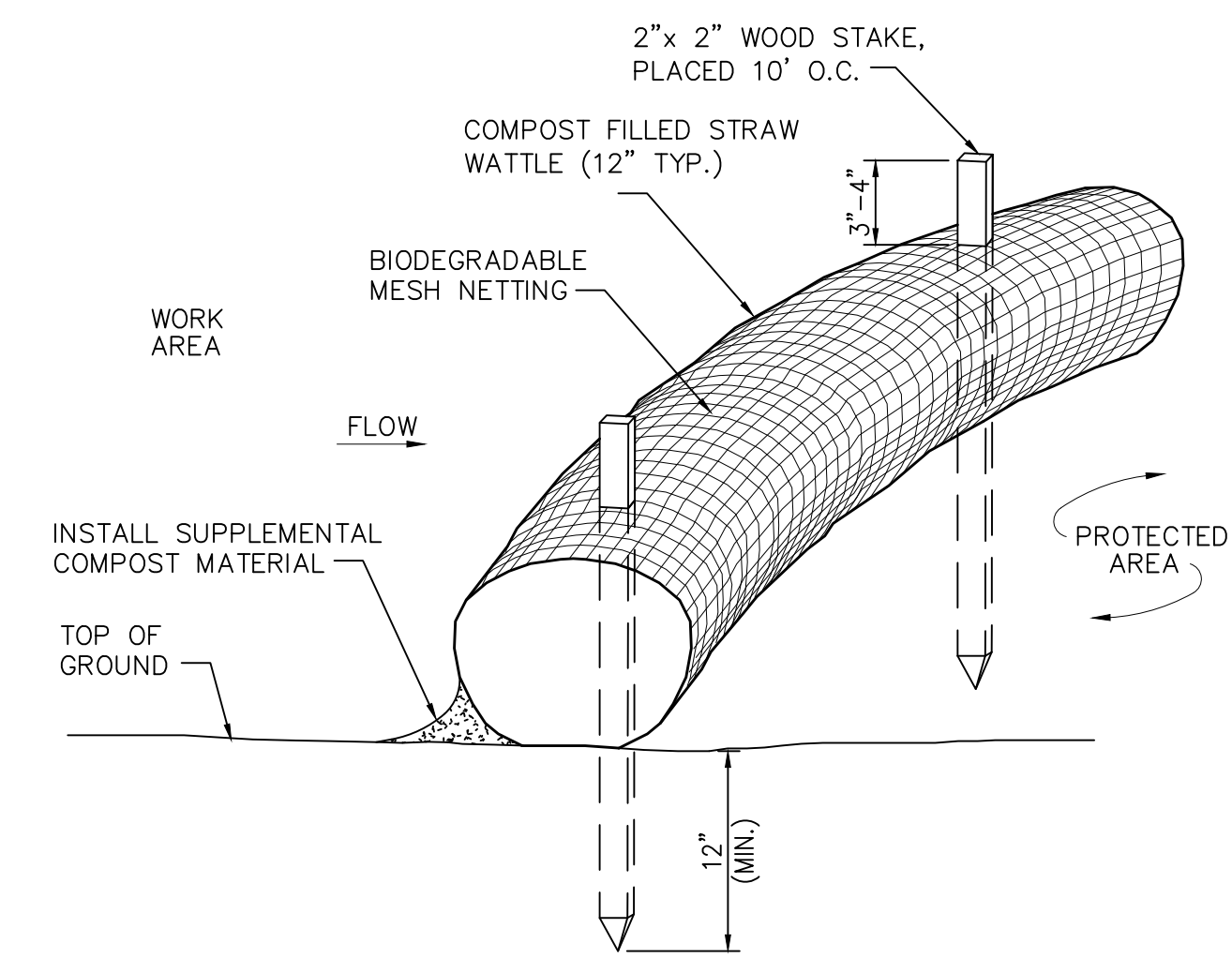
ASSESSORS/OWNERS OF RECORD:

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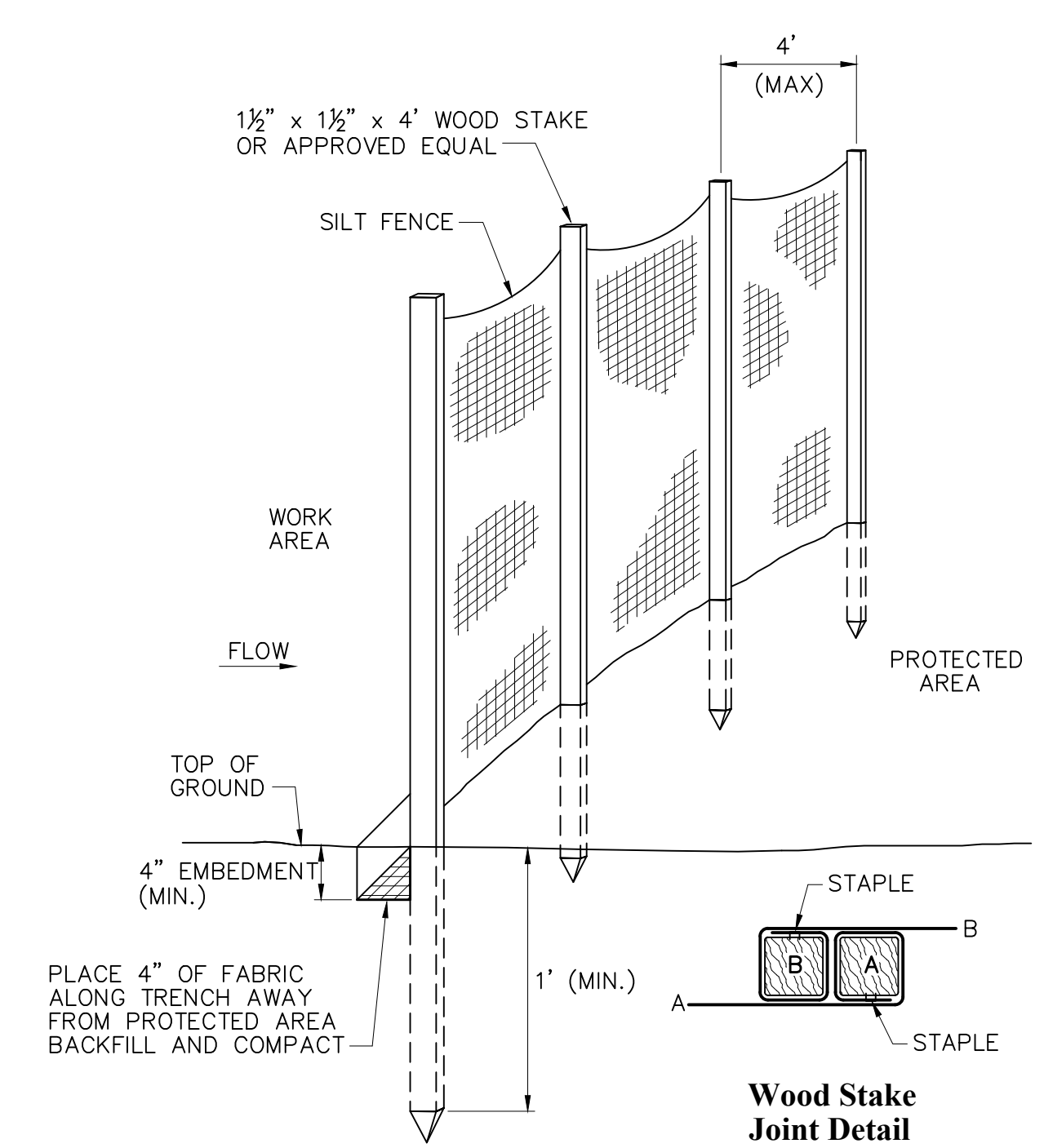


Notes:

1. STRAW WATTLE SHALL BE FILTREXX SILTSOX, OR APPROVED EQUAL.
2. STRAW WATTLE SHALL OVERLAP A MINIMUM OF 12 INCHES.
3. STRAW WATTLE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

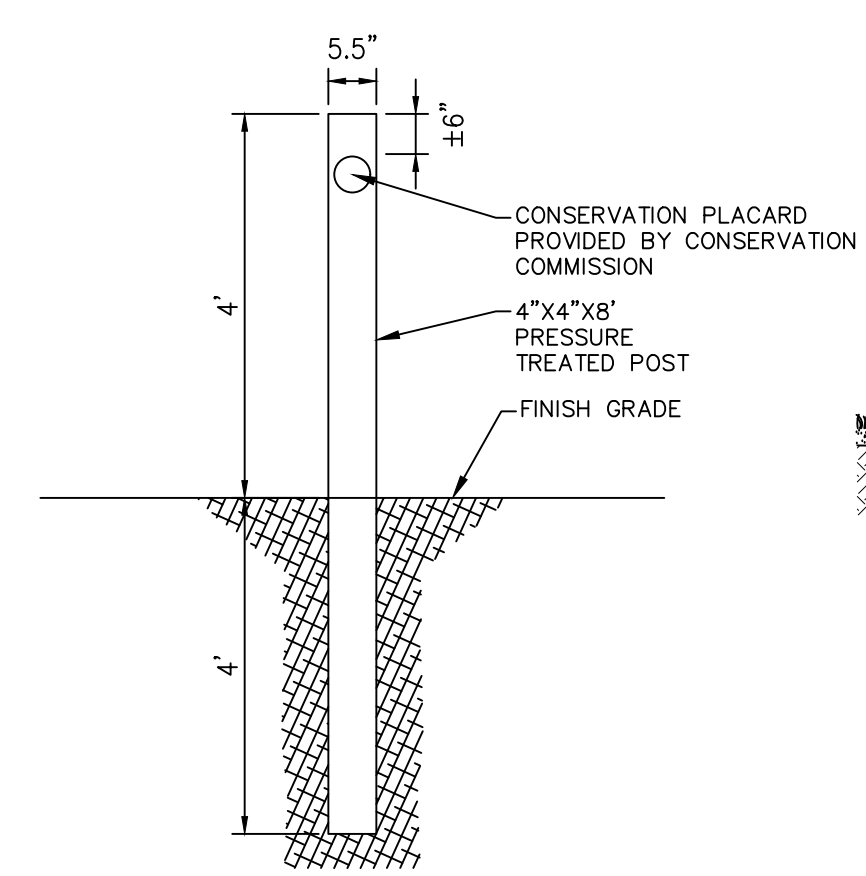
STRAW WATTLE - EROSION CONTROL BARRIER

NOT TO SCALE



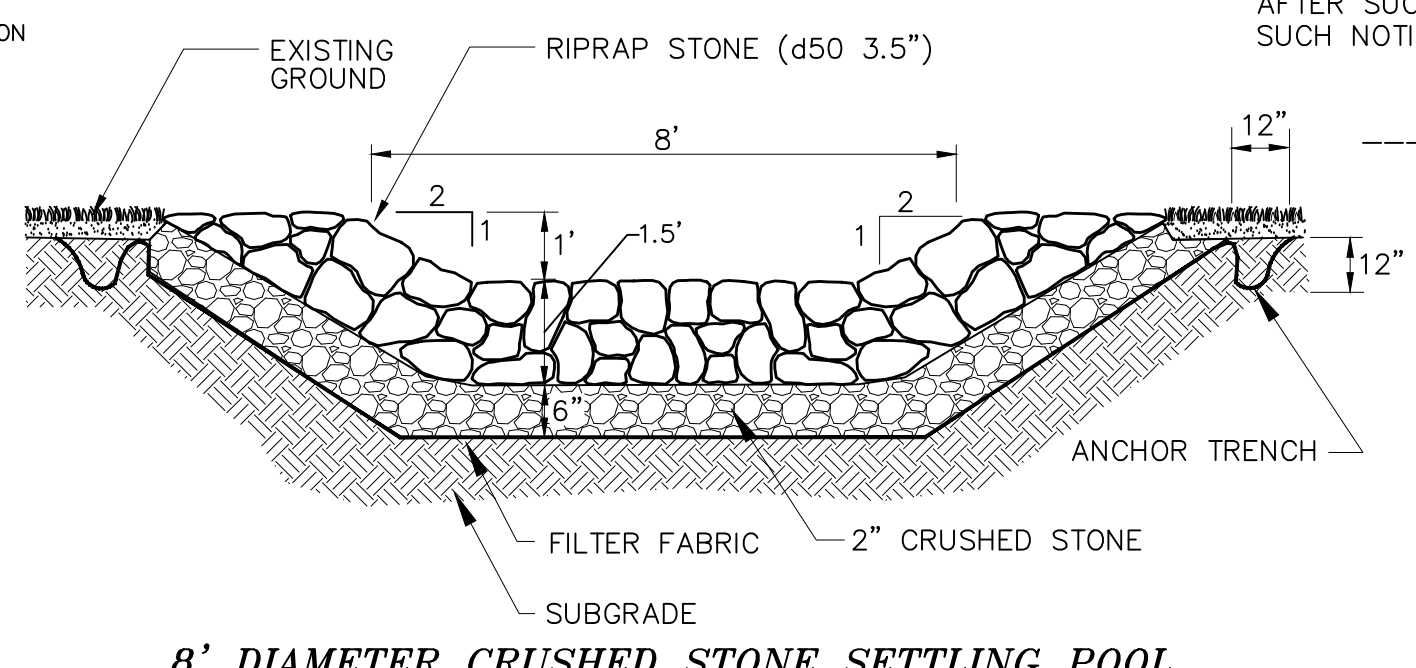
SILT FENCE BARRIER

NOT TO SCALE



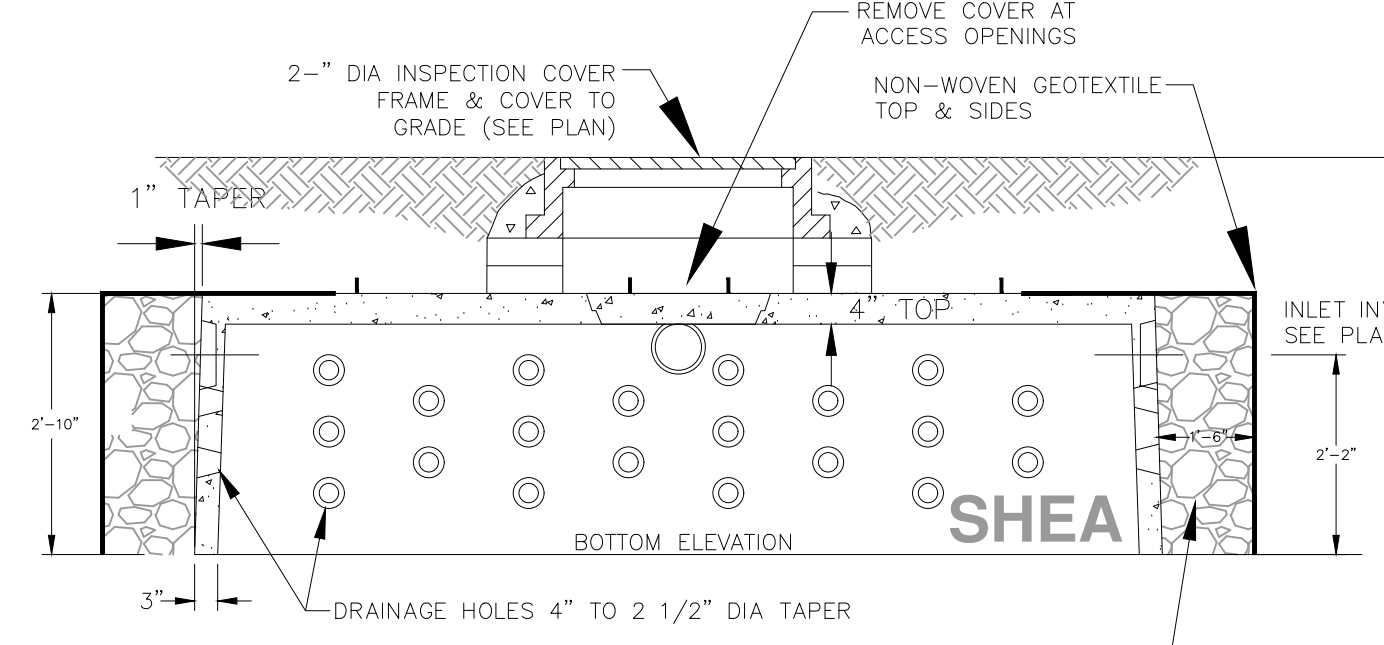
CONSERVATION POST DETAIL

NOT TO SCALE



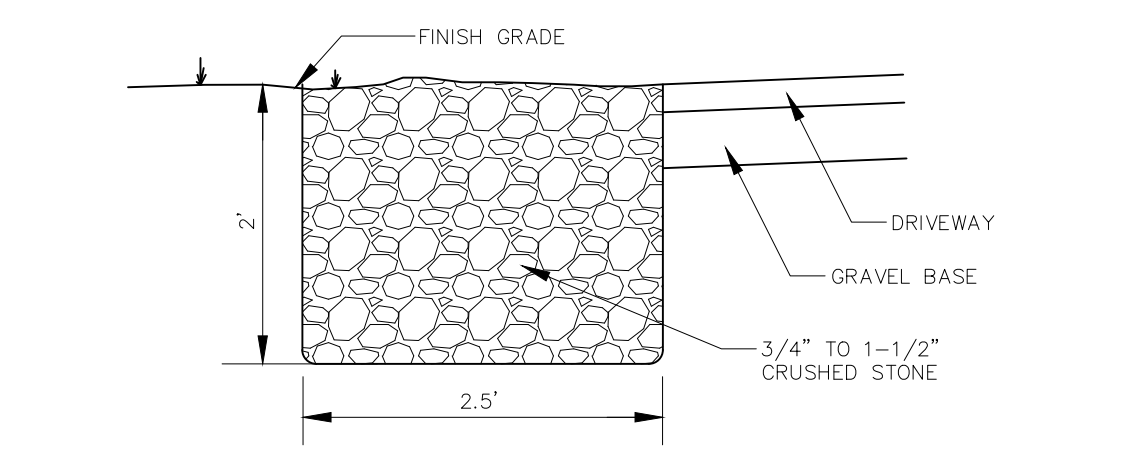
8' DIAMETER CRUSHED STONE SETTLING POOL

NOT TO SCALE



SHEA PRECAST CONCRETE 1000 GALLON JUMBO DRYWELL

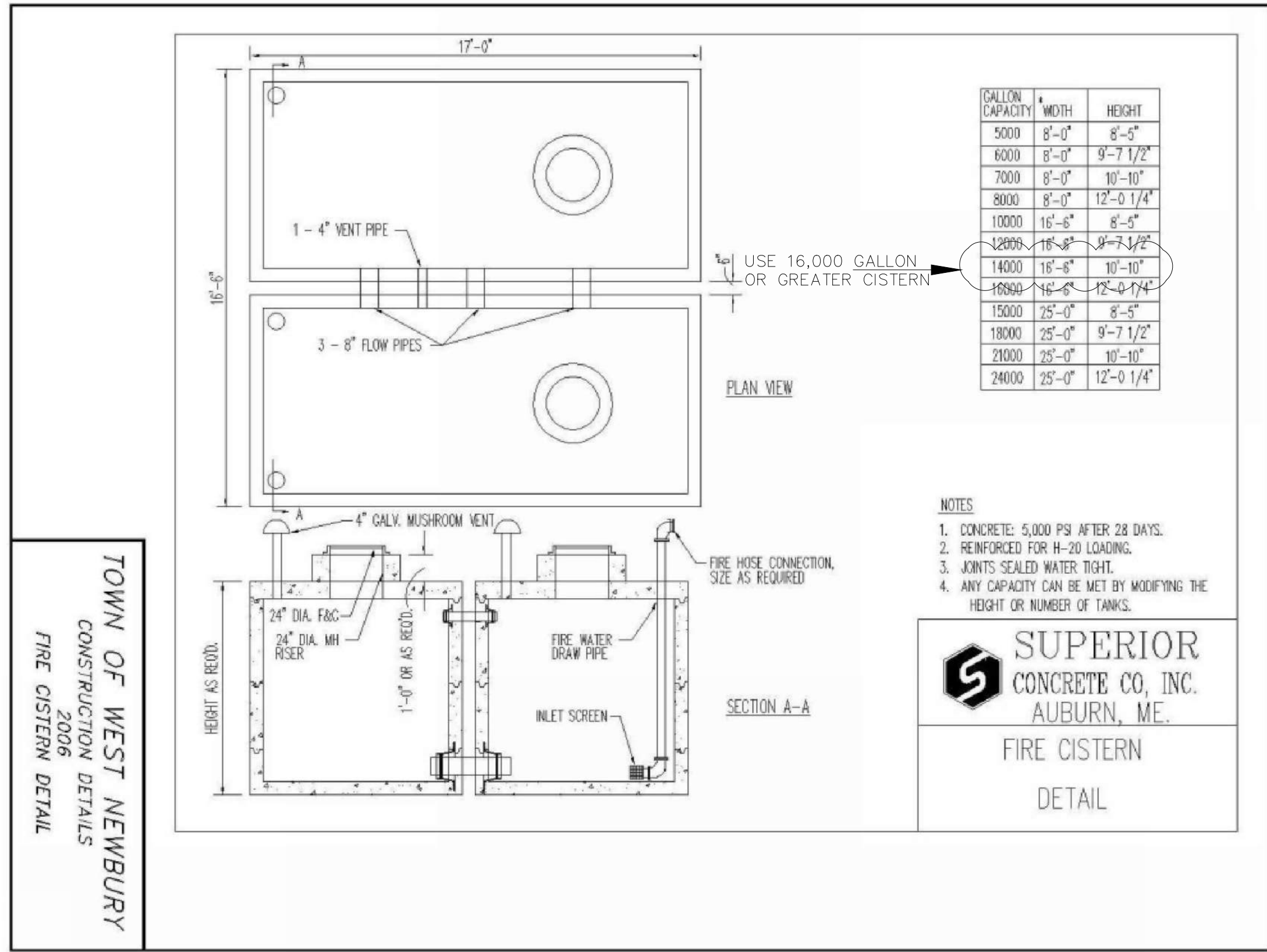
NOT TO SCALE



CRUSHED STONE INFILTRATION TRENCH

NOT TO SCALE

STONE TRENCH SIZING CALCULATIONS:
 - TOTAL DRIVEWAY/ROADWAY AREA = 17,100 SF
 - TOTAL VOLUME OF STORAGE = (735 FEET)(2 FEET)(2.5 FEET)(40% VOIDS) = 1,470 CF
 - TRENCH PROVIDES STORAGE FOR 1.03" OF STORMWATER RUNOFF
 - PARENT SOIL IS CLASSIFIED AS HSG C/D WITH AN ESTIMATED INFILTRATION RATE OF 0.27 IN/HR.



GALLON CAPACITY	WIDTH	HEIGHT
5000	8'-0"	8'-5"
6000	8'-0"	9'-7 1/2"
7000	8'-0"	10'-10"
8000	8'-0"	12'-0 1/4"
10000	10'-6"	8'-5"
12000	10'-6"	9'-7 1/2"
14000	10'-6"	10'-10"
16000	10'-6"	12'-0 1/4"
15000	7'-5"	8'-5"
18000	7'-5"	9'-7 1/2"
20000	7'-5"	10'-10"
24000	7'-5"	12'-0 1/4"

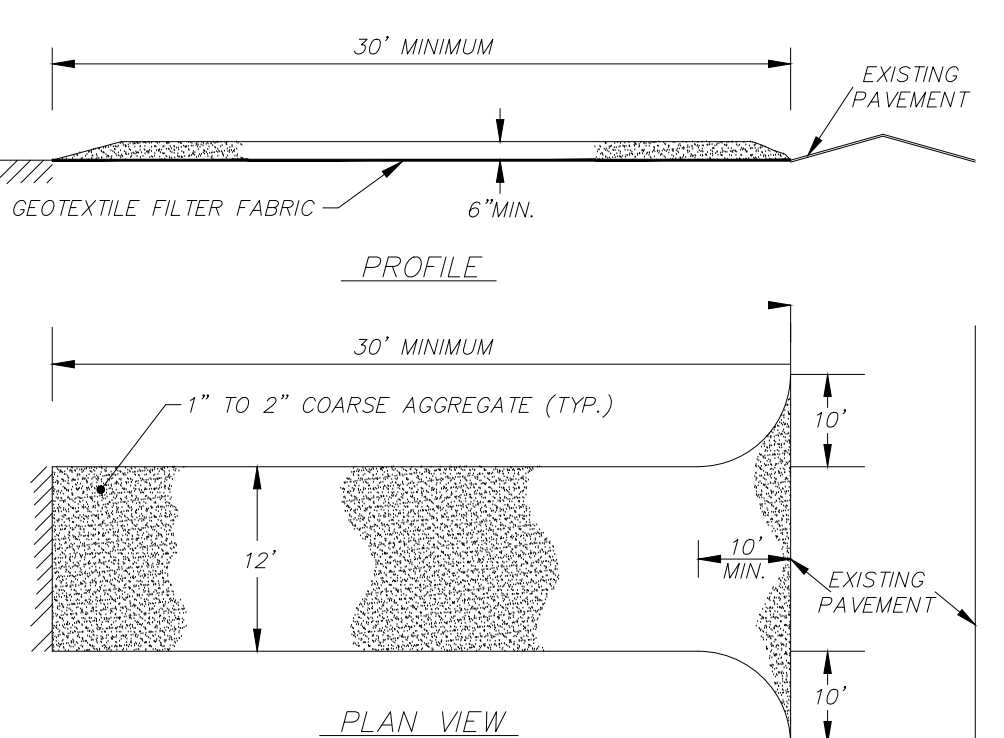
- NOTES:
1. CONCRETE: 5,000 PSI AFTER 28 DAYS.
 2. REINFORCED FOR H-20 LOADING.
 3. JOINTS SEALED WATER TIGHT.
 4. ANY CAPACITY CAN BE MET BY MODIFYING THE HEIGHT OR NUMBER OF TANKS.

SUPERIOR CONCRETE CO., INC.
 AUBURN, ME.
 FIRE CISTERN
 DETAIL

TOWN OF WEST NEWBURY
 CONSTRUCTION DETAILS
 2006
 FIRE CISTERN DETAIL

- CISTERN DESIGN REQUIREMENTS:
1. BASE, WALLS AND ROOF SHALL BE DESIGNED FOR THE PREVAILING SOIL CONDITIONS AND FOR THE LOADS ENCOUNTERED WHEN HEAVY VEHICLES ARE PARKED ADJACENT.
 2. IF GROUNDWATER CONDITIONS ARE HIGH, IT SHALL NOT FLOAT WHEN EMPTY.
 3. SUCTION PIPING SHALL BE DESIGNED TO MINIMIZE WHIRLPOOLING.
 4. VENT PIPING SHALL BE OF SUFFICIENT SIZE.

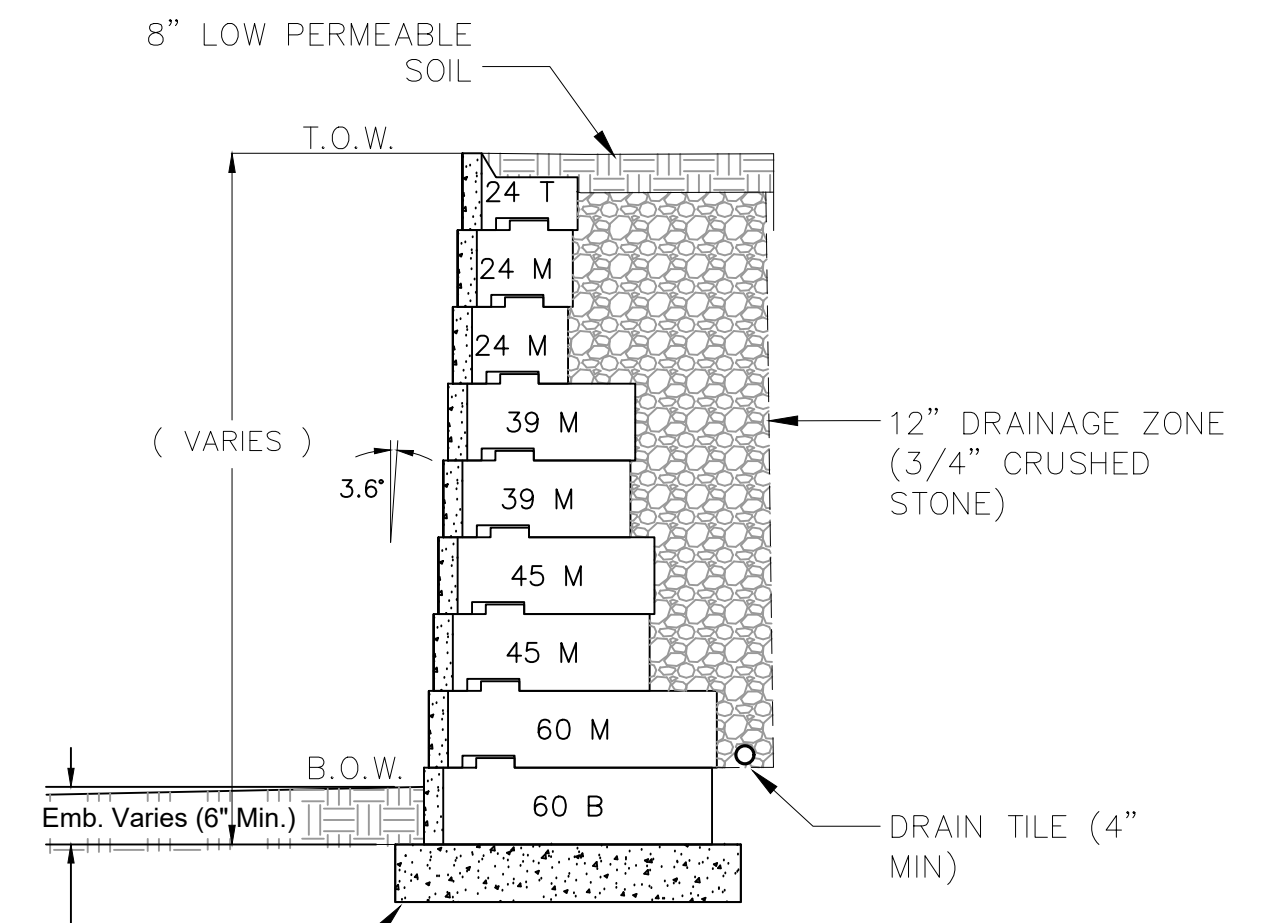
- CISTERN SPECIFICATION REQUIREMENTS:
1. CISTERNS SHALL BE LOCATED NO MORE THAN 2,200 FEET TRUCK TRAVEL DISTANCE FROM THE HOUSE ON THE FURTHEMOST LOT WITHIN A SUBDIVISION.
 2. THE DESIGN OF A CISTERN SHALL BE TROUBLE-FREE AND LAST A LIFETIME.
 3. THE CISTERN VOLUME SHALL BE AS INDICATED IN SECTION 1, AVAILABLE THROUGH THE SUCTION PIPING SYSTEM, UNLESS DETERMINED OTHERWISE BY THE BOARD.
 4. THE SUCTION PIPING SYSTEM SHALL BE CAPABLE OF DELIVERING 1,000 GPM FOR THREE QUARTERS OF THE CISTERN CAPACITY.
 5. EACH CISTERN SHALL BE SITED TO THE PARTICULAR LOCATION, DESIGNED AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER.
 6. THE ENTIRE CISTERN SHALL BE COMPLETED AND INSPECTED BEFORE ANY BACKFILLING IS DONE.
 7. ALL BACKFILL MATERIAL SHALL BE SCREENED GRAVEL WITH NO STONES LARGER THAN 2 INCH AND SHALL BE COMPACTED TO 95 PERCENT ASTM 1557.
 8. BEDDING FOR THE CISTERN SHALL BE A MINIMUM 12 INCH CRUSHED, WASHED STONE, COMPACTED. NO FILL SHALL BE USED UNDER THE STONE.
 9. FILLER PIPE SIAMASE SHALL BE 36 INCHES ABOVE FINAL BACKFILL GRADE.
 10. SUCTION PIPE CONNECTIONS SHALL BE 20 TO 24 INCHES ABOVE THE LEVEL OF THE GRAVEL WHERE VEHICLE WHEELS WILL BE LOCATED WHEN CISTERN IS IN USE.
 11. SUCTION PIPE SHALL BE SUPPORTED EITHER ON TOP OF TANK OR TO A LEVEL BELOW FROST.
 12. AFTER BACKFILLING, THE TANK SHALL BE PROTECTED BY FENCING, STONES OR BY OTHER APPROPRIATE METHODS.
 13. BACKFILL OVER THE TANK SHALL BE: A) 4 FT. OF FILL, OR B) THE TOP AND HIGHEST 2 FT. OF SIDES OF CISTERN INSULATED WITH VERMIN-RESISTANT FOAM INSULATION, AND 2 FT. OF FILL; C) ALL BACKFILL SHALL EXTEND 10 FT. BEYOND THE EDGE OF THE CISTERN, THEN MAXIMUM 3:1 SLOPE, LOAMED AND SEEDED.
 14. THE BOTTOM OF THE SUCTION PIPE TO PUMPER CONNECTIONS SHALL NOT EXCEED 14 FT. VERTICAL DISTANCE.
 15. THE PITCH OF SHOULDER AND VEHICLE PADS FROM EDGE OF PAVEMENT TO PUMPER SUCTION CONNECTION SHALL BE 1 TO 6 PERCENT DOWN GRADE.
 16. SHOULDER AND VEHICLE PADS SHALL BE OF SUFFICIENT LENGTH TO PERMIT CONVENIENT ACCESS TO A SUCTION CONNECTION WHEN PUMPER IS SET AT 45 DEGREES TO THE ROAD.
 17. ALL CONSTRUCTION, BACKFILL AND GRADING MATERIALS SHALL BE IN ACCORDANCE WITH PROPERT CONSTRUCTION PRACTICES.
 18. THE OWNER/DEVELOPER IS RESPONSIBLE FOR COMPLETELY FILLING THE CISTERN UNTIL ACCEPTED BY THE FIRE DEPARTMENT.



- NOTES:
1. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN A FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICH EVER IS GREATER.
 2. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
 3. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM SUBSTITUTED FOR THE PIPE.

STABILIZED CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



TYPICAL "SHEA" WALL SECTION

(NOT TO SCALE)

NOTE: SHOWN FOR GENERAL INFORMATION ONLY. FINAL WALL CONFIGURATION TO BE DETERMINED BY THE WALL SUPPLIER ENGINEER LICENSED TO PRACTICE ENGINEERING IN MASSACHUSETTS.

Revision No.	Revision Description	Date
2	PER PEER REVIEW COMMENTS	04/29/2024
1	REVISIONS PER INITIAL PEER REVIEW	12/18/2023

DEFINITIVE SUBDIVISION SITE DETAILS EAGLE NEST WEST NEWBURY, MASS.

PREPARED FOR: MICHAEL FUSCO
 DATE: NOVEMBER 20, 2023
 SCALE: 1"=40'

andover consultants inc.
 1 East River Place
 Methuen, Mass. 01844
 Telephone: 978-687-3828

Dennis A. Griecci
 Reg. Prof. Engineer

APPROVED BY THE TOWN OF WEST NEWBURY PLANNING BOARD

DATE

FILED

HEARING

CLERK OF THE TOWN OF WEST NEWBURY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SUCH NOTICE.

TOWN CLERK

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF MASSACHUSETTS.

REG. PROF. ENGINEER

ASSESSORS/OWNERS OF RECORD:

PARCEL R24-12
FUSCO FAMILY IRREVOCABLE TRUST
ANTHONY J. FUSCO &
N. DAWNE FUSCO TRUSTEES
125 RIVER ROAD
WEST NEWBURY, MA 01985
BOOK 25609 PAGE 254
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171 RIVER ROAD
WEST NEWBURY, MA 01985
BOOK 34827 PAGE 450
PLAN BOOK 173 PLAN 64

DEED REFERENCE:

ESRO BOOK 14031, PAGE 76
ESRO BOOK 34827, PAGE 450



Wetland Impacts And Mitigation Summary

Area Identification	Permanent Resource Impact	Temporary Resource Impact	Replicated Resource Area	Restored Resource Area
WETLAND SERIES B	1,396 SF	800 SF	1,609 SF	800 SF
WETLAND SERIES C	877 SF	520 SF	3,033 SF	520 SF
TOTALS	2,273 SF	1,320 SF	4,642 SF	1,320 SF

- NOTES:
1. PROVIDING >2:1 REPLICATION FOR IMPACTED WETLANDS.
 2. TEMPORARY IMPACTS SHALL BE RESTORED TO PRE CONSTRUCTION CONDITIONS.

Plant List

Key	Qty.	Botanical Name	Common Name
Replication Area 1			
RM	3	ACER RUBRUM	RED MAPLE
RC	3	ARONIA ARBUTIFOLIA	RED CHOKEBERRY
BB	3	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY
Replication Area 2			
RC	4	ARONIA ARBUTIFOLIA	RED CHOKEBERRY
BB	2	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY
Replication Area 3			
RM	1	ACER RUBRUM	RED MAPLE
RC	5	ARONIA ARBUTIFOLIA	RED CHOKEBERRY
BB	4	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY
Replication Area 4			
RM	3	ACER RUBRUM	RED MAPLE
RC	7	ARONIA ARBUTIFOLIA	RED CHOKEBERRY
BB	6	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY

Plant Legend

	RED MAPLE
	RED CHOKEBERRY
	HIGHBUSH BLUEBERRY

REPLICATION DETAIL

1" = 20'

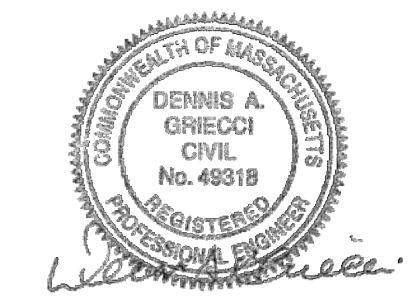
Revision No.	Revision Description	Date
2	PER PEER REVIEW COMMENTS	04/29/2024
1	REVISIONS PER INITIAL PEER REVIEW	12/18/2023

DEFINITIVE SUBDIVISION
WETLAND REPLICATION DETAIL
EAGLE NEST
WEST NEWBURY, MASS.

PREPARED FOR: MICHAEL FUSCO
DATE: NOVEMBER 20, 2023
SCALE: 1" = 40'

andover
consultants
inc.

1 East River Place
Methuen, Mass. 01844
Telephone: 978-687-3828



Dennis A. Grieci
Reg. Prof. Engineer



April 29, 2024

Town of West Newbury
c/o Sue Brown, Town Planner
Planning Department
381 Main Street
West Newbury, MA 01985

**Re: 125 River Road
Definitive Subdivision
Response to Peer Review #1**

Dear Ms. Brown and Members of the Board:

We are in receipt of comments from Meridian Associates, which were sent to us by Mr. David Kelley on January 9th, 2024. On behalf of the Applicant, Michael Fusco, please find attached our response below to these comments. We have reproduced Meridian Associates comments in *italics* with our response following in **bold**.

Town of West Newbury Planning Board Rules and Regulations Governing the Subdivision of Land

- 1. Comment: MAI notes that this project is a subdivision comprised of less than four (4) lots, which is exempt from the MassDEP stormwater management standards, drainage calculations and Pre- and Post- Development Watershed Plans are not required under the State Stormwater Management Requirements and therefore have not been provided.*

Response: No response necessary.

- 2. Comment: The Plan and Profile of the roadway, sheet 8 of 16, is at a scale of 1"=20' horizontally and 1"=2' vertically to more clearly depict the information on this sheet. This is a non-issue; however, it is at the discretion of the board to accept such scales.*

Response: As stated in the comment, the scale shown on the plan more clearly depicts the intent of the design and we would request the Board allow the scale as shown.

- 3. Comment: Elevations shown on the plans are based upon 1988 NAVD Datum. The applicant has requested a waiver to allow for the elevations to be NAVD 1988 datum. It is the discretion of the board to accept such waiver request.*

Response: While the town of West Newbury requests NGVD 1929 be used as the vertical datum, , the Commonwealth of Massachusetts in 250 CMR 6.01(4)(c) states "Elevations, when provided, shall be referenced to a known vertical datum or to an assumed datum for which two monuments (bench marks) have been established. The preferred vertical datum is the current national vertical datum."

- 4. Comment: It does not appear as though the information regarding the ownership of the abutting properties to the west of 'Remaining Area' has been shown on the plans. MAI recommends that the applicant depict the required information to conform to this requirement or request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.*

Response: This information has been added to the revised plan set.

5. Comment: *The plans depict the required dimensional requirement table. However, the requirements for maximum lot coverage, maximum building coverage and maximum height are not shown on the table nor are the dimensional requirements for the 'Remaining Area'. Since the stormwater management system is contingent on the size of the proposed dwellings, this information should be shown. MAI recommends that the applicant revise the plans and the zoning chart to conform to this requirement.*

Response: The zooming summary chart has been revised to include the above information.

6. Comment: *The plans do not show specific trees within the limits of the proposed work. The applicant has requested a waiver to not depict the specific trees to be removed within the limits of work. It is the discretion of the board to accept such waiver request.*

Response: Trees within the right of way have been located via an instrument survey and the current plan set has been revised to depict the located trees.

7. Comment: *Although a significant amount of this information is not shown, it does not appear to be relevant to the engineering design of the project. However, MAI recommends that the applicant request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.*

Response: A waiver has been added to the revised list of project waivers to include the requirements of section 3.3.3.2.1.

8. Comment: *Although this information is not shown, it does not appear to be significant to this three (3) lot subdivision project. However, MAI recommends that the applicant request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.*

Response: A waiver has been added to the revised list of project waivers to include the requirements of section 3.3.3.2.4.

9. Comment: *This information is not shown. MAI recommends that the applicant request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.*

Response: The plans have been revised to show existing structures within 50' of the perimeter of the subdivision.

10. Comment: *As stated above, there does not appear to be boundary information provided for the land to the west of 'Remaining Area' as required. Lot closure calculations for the overall property, the proposed right-of-way and each of the three (3) proposed lots has not been provided. MAI recommends that the applicant request a waiver and provide rationale to not depict or provide that information or revise the plans and/or provide the required calculations to conform to this requirement.*

Response: The current plan set has been revised to show the required information.

11. Comment: *The proposed lot numbers are not enclosed in a circle and empty rectangles are not provided for each lot, future labeling by the Assessor's office with the new assessor's lot numbers and the new street address. MAI recommends that the applicant revise the plans to depict this information.*

Response: The lotting sheets have been revised to provide the required information.

12. Comment: *The proposed frontage and lot width are not shown for the 'Remaining Land' or on Lots 1 and 2. MAI recommends that the applicant revise the plans and the zoning chart to depict this information.*
Response: The plans have been revised to show the required information.
13. Comment: *The plans do not show this information. MAI recommends that the applicant revise the plans to depict this information.*
Response: The plans have been revised to show the required information.
14. Comment: *The plans do not show any proposed bounds. MAI recommends that the applicant request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.*
Response: The plans have been revised to show the required information.
15. Comment: *Street trees are not proposed as a part of this project. MAI recommends that the applicant request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.*
Response: A waiver has been added to the revised list of project waivers to include the requirements of section 3.3.3.4.7.
16. Comment: *The plans show the locations of the proposed wells and subsurface sewage disposal systems. MAI recommends that additional setback dimensions be added to conform compliance with this requirement.*
Response: The plans have been revised to show the required information.
17. Comment: *There do not appear to have been any test pits, and percolation tests, performed as there is no test pit information provided. There are two (2) notes that state that the septic systems are to be installed in conformance with West Newbury Board of Health and with Title V which require that test pits be performed as a part of the design. The applicant has requested a waiver to perform test pits for the subsurface sewage disposal systems after following the approval from the Planning Board and Conservation Commission. It is the discretion of the board to accept such waiver request.*
Response: The applicant intends to conduct the testing as required and will provide information to Planning Board when completed.
18. Comment: *MAI notes that there are no sidewalks, trails, lighting, curbing depicted on the plans. Due to the small scale of this project the applicant has requested a waiver from these design elements. It is the discretion of the board to accept such waiver request.*
Response: No response necessary.
19. Comment: *MAI notes that this project is a subdivision comprised of less than four (4) lots, which is exempt from the MassDEP stormwater management standards. As such, drainage calculations are not required and have not been provided. However, it should be noted that sizing calculations of the roadside crushed stone infiltration trench and each of the two (2) roof drywells, have been provided which depict that the trench and the drywells, each have the storage capacity, not accounting for infiltration, for more than a one (1) inch storm event. This complies with the Town of West Newbury Planning Board Stormwater Management Regulations. That said, the applicant has requested a waiver*

from the requirement to provide stormwater drainage calculations. It is the discretion of the board to accept such waiver request.

Response: No response necessary.

20. Comment: *The plans do not depict the required information. MAI recommends that the applicant revise the plans to conform to this requirement.*

Response: The plans have been revised to show the required information.

21. Comment: *The plans do not depict the required information. MAI recommends that the applicant revise the plans to conform to this requirement.*

Response: The plans have been revised to show the required information.

22. Comment: *Street trees are not proposed as a part of this project. MAI recommends that the applicant request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.*

A waiver has been added to the revised list of project waivers to include the requirements of section 3.3.3.5.13.

23. Comment: *The plans do not depict the required information. MAI recommends that the applicant revise the plans to conform to this requirement.*

Response: The plans have been revised to show the required information.

24. Comment: *MAI notes that this project is a subdivision comprised of less than four (4) lots, which is exempt from the MassDEP stormwater management standards, drainage calculations and Pre- and Post- Development Watershed Plans are not required and therefore have not been provided.*

Response: No response necessary.

25. Comment: *The plans do not label the centerline radius of the proposed roadway. MAI recommends that the applicant depict the centerline radius of the proposed roadway to ensure conformance with this requirement.*

Response: The plans have been revised to show the required information.

26. Comment: *The required sight distance is not met in a southerly direction, and it cannot be determined if it is met in a northerly direction as the limits of the pavement are not shown. Sight distance looking north should line up with south bund traffic. It should be noted that there is a utility pole and existing vegetation to the south of the proposed drive that may impede on the site distance. Due to the unique character of this project, the applicant has requested a waiver from the sight distance requirement. It is the discretion of the board to accept such waiver request.*

Response: As stated in the comment, a waiver has been requested for Section 4.2.4.5.

Additionally, the plans have been revised to require the removal of vegetation which may impede site distance looking in the easterly direction of the site entrance.

27. Comment: *The proposed roadway intersection angle was not provided. MAI recommends that the applicant revise the plans to conform to this requirement.*

Response: The proposed roadway is designed to intersect at a 90-degree angle to River Road, a notation has been added to the Layout & Materials plan to specify this angle.

28. Comment: *The proposed pavement radii proposed at the intersection of the proposed roadway with River Road are twelve (12) feet. MAI recommends that the applicant revise the plans to conform to this requirement.*

Response: The plans have been revised to show the pavement radius to be 15’.

29. Comment: *The proposed subdivision appears to comply with the requirement that the property must have the minimum frontage required in order to provide a right-of-way. The Land for 125 River Road, has frontage in two (2) locations, one (1) to the far west of the proposed Right-of-Way and one (1) at the location of the proposed Right-of-Way. Once the frontage is split between 125 and 171, 125 still maintains frontage in excess of two hundred (200) feet on the far westerly portion of the property. However, the frontage in the location of the proposed Right-of-Way appears to be under two hundred (200) feet. With that said, and due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.*

Response: It has been determined by the Zoning Officer that 125 River Road as currently constituted does have the required frontage, however, to the extent a waiver is necessary the waiver requests remain on the revised list of waivers. Additional frontage has been provide for #125 River Road (shown as “remaining area” on plans) on the proposed ROW.

30. Comment: *The proposed subdivision centerline does not comply with this requirement. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.*

Response: No response necessary.

31. Comment: *The plans do not show any curbing. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.*

Response: No response necessary.

32. Comment: *The plans propose a roadway width of what appears to be over twenty (20) feet at the site entrance, a width of eighteen (18) feet elsewhere and a reduced width of fifteen (15) feet at the wetland crossing. The plans should clarify the width of the pavement at the entrance. It should also be noted that the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.*

Response: The plan has been revised to show an 18’ wide paved traveled way which will reduce 15’ in width at the two areas where wetlands will be impacted in order to minimize wetland impacts to the extent possible, as required by the Conservation Commission, in order to gain access to uplands.

33. Comment: *The plans depict a hammerhead (“T”) turnaround in lieu of a circular cul-de-sac. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.*

Response: No response necessary. It should be noted that the Fire Department has reviewed the plans with hammer head turnaround and did not have issues with what is provided.

34. Comment: *The plans depict a hammerhead (“T”) turnaround in lieu of a circular cul-de-sac. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.*

Response: No response necessary. It should be noted that the Fire Department has reviewed the plans with hammer head turnaround and did not have issues with what is provided.

35. Comment: *MAI recommends that the plans be revised to depict any locations, within the limit of work within the site, with a pre-construction grade of twenty-five (25) percent or greater they should be shown on the plan set. Should there not be any areas with slopes greater than twenty-five (25) percent, then a note should be added.*

Response: The plans have been revised to show and label the existing slopes of 25% or greater.

36. Comment: *The plans do not propose sidewalks. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.*

Response: No response necessary.

37. Comment: *The plans do not propose footpaths or trails within the project area. The undeveloped portion of the property is to remain. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.*

Response: No response necessary.

38. Comment: *The plans do not propose bicycle paths or recreational paths. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.*

Response: No response necessary.

39. Comment: *MAI notes that since this project is a subdivision comprised of less than four (4) lots, that it is exempt from the MassDEP stormwater management standards. As such, drainage calculations are not required and have not been provided. That said, the applicant has requested a waiver from the requirement to provide stormwater management beyond what is described above. It is the discretion of the board to accept such waiver request.*

Response: No response necessary.

40. Comment: *MAI recommends that the applicant provide documentation and explanations and descriptions that address how each of the seven (7) items, listed above, are specifically addressed, to the greatest extent practicable, by the design of the project.*

Response:

(1) *Reproduce, as nearly as possible, the hydrological conditions in the ground and surface waters prior to the development;*

The proposed drainage design matches to the extent possible the existing hydrological conditions with the proposal design by promoting recharge of impervious surfaces (roof, driveway) and by matching grades to the extent possible.

(2) *Reduce stormwater pollution to the maximum extent possible using Best Management Practices (BMP's);*

Stormwater pollution has been reduced to the maximum extent possible by incorporating recharge trenches in capture and recharge runoff from the proposed paved travel way and by the incorporating drywells to recharge roof runoff on both lots 1 and 2.

(3) *Have an acceptable future maintenance plan covering method and execution;*

An Operation & Maintenance plan has been developed for future maintenance of the proposed stormwater management system so that required maintenance is part of the record decision.

- (4) *Have a beneficial effect on the natural and human environment;*

The proposed stormwater BMPS will have a beneficial effect on the environment by promoting recharge of stormwater and mimicking to the extent possible existing drainage patterns.

- (5) *Be appropriate for the site, given the site's specific physical constraints;*

Given the small nature of the proposed development (the construction of two single family dwellings) the proposed stormwater BMPs are appropriate for the site.

- (6) *Provide a sufficient level of health and environmental protection during the construction phase; and*

The project proposes a staked erosion and sedimentation control (ESC) barrier surrounding the limit of work to prevent sedimentation and erosion of the downstream resource areas, additionally a stabilized construction entrance is proposed at the site entrance to prevent sediment from entering River Road. The ESC barrier will also serve the purpose of demarcating the limit of work during construction.

- (7) *Provide proper management prior to the discharge of such runoff onto adjacent property owned by others, into the existing storm drainage system, or wetland resources listed in the Wetland Protection Act Regulations, 310 CMR 10.00.*

As stated previously, the project is not subject to the Massachusetts Stormwater Standards, as it is a subdivision of four or fewer lots, however stormwater BMPs are proposed and incorporated into the design to mitigate stormwater runoff from the site including a crushed stone recharge trench to infiltrate runoff from the proposed paved traveled way and the roof drywells which will infiltrate runoff from the proposed roofs.

41. Comment: *This notation is not depicted on the plan. MAI recommends that the plans are revised to depict this note. MAI also recommends that this note be modified to include that the thirty (30) inch RCP culvert, the six (6) inch HDPE culvert (or potentially twelve (12) inch RCP culvert), the roadside crushed stone infiltration trench and the eight (8) foot diameter crushed stone settling pool be owned and maintained by the residents of the subdivision.*

Response: A note (note 1) has been added to the list of general notes to address this comment.

42. Comment: *The plans depict a six (6) inch roof drain HDPE pipe, from the existing dwelling, discharging to the western side of the proposed roadway, within the proposed right-of-way. MAI recommends that this pipe be increased to a minimum twelve (12) inch diameter RCP and/or redirected as to not discharge within the right-of-way. MAI also recommends that the applicant request a waiver and provide rationale to allow the pipe to remain as is, and/or increased in diameter or revise the plans to conform to this requirement.*

Response: The plans have been revised to show the existing 6" drain pipe to be cut back outside of the proposed ROW. All other drainage on the site is proposed to be a minimum of 12" in diameter.

43. Comment: *The project is not proposed to connect to a municipal water system, as such, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.*

Response: No response necessary.

44. Comment: *MAI recommends that the plans be revised to depict the Cistern Design Requirement notes stated in Section 4.6.3.5. and Section 4.6.3.6.*

Response: The cistern detail has been revised to include the suggested notes.

45. Comment: *MAI recommends that the plans be revised to depict this note.*

Response: The plans have been revised to include the suggested note (note 17 on the Grading & Utilities Plan).

46. Comment: *MAI recommends that the plans be revised to depict this note.*

Response: The plans have been revised to include the suggested note (note 18 on the Grading & Utilities Plan).

Town of West Newbury Planning Board Stormwater Management Regulations

1. Comment: *MAI has no further comments on this Section.*

Response: No response necessary.

2. Comment:

2.1. *MAI recommends that the plans be revised to depict this note.*

2.2. *MAI recommends that the plans be revised to depict this note.*

2.3. *MAI recommends that the plans be revised to depict this note.*

2.4. *MAI recommends that the plans be revised to depict this note.*

Response: The plans have been revised to include the suggested notes (notes 19-22 on the Grading & Utilities Plan).

3. Comment: *MAI has no further comments.*

Response: No response necessary.

4. Comment: *MAI has no further comments.*

Response: No response necessary.

General Application and Plan Comments

1. Comment

1.1. *Zoning Summary Chart should be revised per comments above;*

1.2. *List of Waivers should be updated per comments and applicable responses above;*

1.3. *Waiver 4.2.6.3 should state 15' not 12';*

1.4. *Locus Plan should show Lot 3 and 'Remaining Area';*

Response: The Plans and List of Waivers have been revised as suggested.

2. Comment

2.1. *The lot widths for Lots 2 and 3 should be added;*

2.2. *Proposed bounds should be depicted on the proposed Right-of-Way;*

2.3. *Show the property owner on the opposite side of River Road (all sheets);*

Response: The Plans and have been revised as suggested.

3. Comment: *No Comments;*

Response: No response necessary.

4. Comment: *No Comments*;
Response: No response necessary.
5. Comment: *No Comments*;
Response: No response necessary.
6. Comment:
6.1. *Show 100-foot wellhead circles for the proposed wells*;
6.2. *Add setback dimensions to wetlands from proposed leaching fields*;
6.3. *Label Cistern as: 'Proposed 16,000 gal. Cistern'*;
Response: The plans have been revised as suggested.
7. Comment
7.1. *Show 100-foot wellhead circles for the proposed wells*;
7.2. *Add note to the effect that soils testing will be performed in the final location of the roof drywells. Final locations, elevations and other design information of the drywells will be submitted to the Planning Board prior to installation.*
7.3. *Label Cistern as: 'Proposed 16,000 gal. Cistern'*;
Response: The plans have been revised as suggested. Note 23 includes soil testing information suggested.
8. Comment: *No Comments*.
Response: No response necessary.
9. Comment:
9.1. *Provide a detail of the eight (8) foot diameter crushed stone settling pool*;
9.2. *Add note to the dry well detail to the effect that soils testing will be performed in the final location of the roof drywells. Final locations, elevations and other design information of the drywells will be submitted to the Planning Board prior to installation.*
Response: The plans have been revised as suggested.
10. Comment: *MAI defers to the Conservation Commission for review of the wetland replication plantings and details.*
Response: : No response necessary.

If you have any questions concerning the above information, or require anything further, please feel free to contact me at your convenience.

Sincerely,

Andover Consultants Inc.



Dennis A. Griecci, P.E., LEED AP

Enclosure

Cc: Owner/Applicant



VIA EMAIL: townplanner@wnewbury.org

May 12, 2024

West Newbury Planning Board
Attention: Sue Brown, Town Planner
Town Hall Office Building
381 Main Street
West Newbury, Massachusetts 01985

**Re: Definitive Subdivision Plan - Peer Review #02
Eagle Nest
125 River Road
West Newbury, Massachusetts 01985**

Dear Ms. Brown and Planning Board Members:

At your request, Meridian Associates, Inc. (MAI), has performed a second technical review of the above referenced project. As the basis for our review, we have referenced the standards and requirements contained in the following Town documents and regulation as well as generally accepted engineering practices:

- Town of West Newbury Planning Board Rules and Regulations Governing the Subdivision of Land, dated through September 3, 2019;
- Town of West Newbury Planning Board 'Checklist for Definitive Subdivision Plans (Form C)';
- Town of West Newbury Planning Board Stormwater Management Regulations, dated through June 6, 2023;
- Town of West Newbury Zoning By-Law, dated through May 14, 2022;
- Town of West Newbury Zoning Map, dated through May 3, 2012;
- Town of West Newbury Groundwater Protection Overlay District Map, dated through October 23, 2017;

As of the date of this letter, MAI has received and reviewed the following plans, documents, reports and calculations:

- List of Requested Waivers, prepared by Andover Consultants, Inc., dated April 29, 2024 (3 pages);
- Definitive Subdivision Plan set entitled: "Definitive Subdivision "Eagle Nest" River Road West Newbury, Massachusetts, prepared by Andover Consultants, Inc., dated November 23, 2023, revised December 18, 2023, and April 29, 2024 (11 sheets);
- Comment Response Letter, prepared by Andover Consultants, Inc., dated April 29, 2024;



After reviewing the above referenced materials, we previously offered comments and opinions for your consideration in **blue** text. We have added the responses from the Applicant in **bold** text and new responses in **green**, **orange**, and **red** text. **Green** text, depicts an item that is considered addressed and closed. **Orange** text, depicts an item that is considered addressed and closed and requires consideration by the Planning Board for the granting of a waiver. **Red** text, depicts an item that requires additional information to be provided.

A. Town of West Newbury Planning Board Rules and Regulations Governing the Subdivision of Land

The submittal of this Definitive Subdivision Plan set, and accompanying documents appear to be completed in general conformance with the West Newbury Planning Board Subdivision Rules and Regulations (Section 3.3) with requested waivers and the with the following exceptions:

1. Section 3.3.3.1.1 states "...Pre – and Post – Development Watershed Plans."
MAI notes that this project is a subdivision comprised of less than four (4) lots, which is exempt from the MassDEP stormwater management standards, drainage calculations and Pre- and Post- Development Watershed Plans are not required under the State Stormwater Management Requirements and therefore have not been provided.
Response: No response necessary.
MAI Considers this matter addressed and closed.
2. Section 3.3.3.1.4. states "A scale on each sheet of 1"=40' horizontally and 1"=4' vertically, or such other scale as the Board may accept to clearly and adequately depict the plan intent and details."
The Plan and Profile of the roadway, sheet 8 of 16, is at a scale of 1"=20' horizontally and 1"=2' vertically to more clearly depict the information on this sheet. This is a non-issue; however, it is at the discretion of the board to accept such scales.
Response: As stated in the comment, the scale shown on the plan more clearly depicts the intent of the design and we would request the Board allow the scale as shown.
MAI Considers this matter addressed and closed.
3. Section 3.3.3.1.5. states that "All elevations shall be shown as based on NGVD-1929 MSL vertical datum unless otherwise approved by Board."
Elevations shown on the plans are based upon 1988 NAVD Datum. The applicant has requested a waiver to allow for the elevations to be NAVD 1988 datum. It is the discretion of the board to accept such waiver request.
Response: While the town of West Newbury requests NGVD 1929 be used as the vertical datum, , the Commonwealth of Massachusetts in 250 CMR 6.01(4)(c) states "Elevations, when provided, shall be referenced to a known vertical datum or to an assumed datum for which two monuments (bench marks) have been established. The preferred vertical datum is the current national vertical datum."
MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.
4. Section 3.3.3.1.9. states that the plans show "Location and ownership of abutting properties as they appear on the Form E, including the Assessors Map and Lot numbers, deed and plan references."
It does not appear as though the information regarding the ownership of the abutting properties to the west of 'Remaining Area' has been shown on the plans. MAI recommends that the



applicant depict the required information to conform to this requirement or request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.

Response: This information has been added to the revised plan set.

MAI Considers this matter addressed and closed.

5. Section 3.3.3.1.10. states that the plans show “Zoning district(s) classification and zoning district boundaries and all the applicable minimum dimensional requirements according to the Zoning By-Law.”

The plans depict the required dimensional requirement table. However, the requirements for maximum lot coverage, maximum building coverage and maximum height are not shown on the table nor are the dimensional requirements for the ‘Remaining Area’. Since the stormwater management system is contingent on the size of the proposed dwellings, this information should be shown. MAI recommends that the applicant revise the plans and the zoning chart to conform to this requirement.

Response: The zoning summary chart has been revised to include the above information.

MAI Considers this matter addressed and closed.

6. Section 3.3.3.1.11. states that the plans show “Location of all trees over ten (10) inches in caliper within or along the right-of-way of a Scenic Road, and in those areas subject to disturbance, such as for driveways, within or along the right-of-way shall be shown.”

The plans do not show specific trees within the limits of the proposed work. The applicant has requested a waiver to not depict the specific trees to be removed within the limits of work. It is the discretion of the board to accept such waiver request.

Response: Trees within the right of way have been located via an instrument survey and the current plan set has been revised to depict the located trees.

MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.

7. Section 3.3.3.2.1. states that the plans show “Major existing features of the land such as waterways, wetlands in and within 100’ of the subdivision, water bodies, natural drainage courses, walls, fences, buildings, isolated large, wooded areas, trails, ledge and isolated outcroppings, ditches, wells and septic systems in and within 100’ of the subdivision, water service lines, utility poles and overhead lines, water mains, fire hydrants, drainage pipes, catch basins and manholes, walks, driveways, roads and the like.”

Although a significant amount of this information is not shown, it does not appear to be relevant to the engineering design of the project. However, MAI recommends that the applicant request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.

Response: A waiver has been added to the revised list of project waivers to include the requirements of section 3.3.3.2.1.

MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.

8. Section 3.3.3.2.4. states “Where available, the average daily traffic counts of these roads should be provided. Where not available, same may be required by the Board.”



Although this information is not shown, it does not appear to be significant to this three (3) lot subdivision project. However, MAI recommends that the applicant request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.

Response: A waiver has been added to the revised list of project waivers to include the requirements of section 3.3.3.2.4.

MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.

9. Section 3.3.3.2.5. states that the plans show “Existing structures in and within 50’ of the perimeter of the subdivision.”

This information is not shown. MAI recommends that the applicant request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.

Response: The plans have been revised to show existing structures within 50’ of the perimeter of the subdivision.

MAI considers this matter addressed and closed.

10. Section 3.3.3.3.1. states that the plans show “Sufficient data to determine the location, direction (bearing) and distance (length) of every boundary, lot, street, common driveway, way and easement line in the subdivision. This shall include necessary data (radii, arc and tangent lengths and central angle) of all curved boundaries. A calculations package shall be included to document this information as shown on the plans.”

As stated above, there does not appear to be boundary information provided for the land to the west of ‘Remaining Area’ as required. Lot closure calculations for the overall property, the proposed right-of-way and each of the three (3) proposed lots has not been provided. MAI recommends that the applicant request a waiver and provide rationale to not depict or provide that information or revise the plans and/or provide the required calculations to conform to this requirement.

Response: The current plan set has been revised to show the required information.

Although Sheet 2 of 11 shows the distances of the boundary of the entire subdivision property, it still does not appear as though bearings and distances for the western portion of the ‘Remaining Land’ have been provided. Please provide the boundary information as required.

11. Section 3.3.3.3.3. states that the plans show “Proposed subdivision lot numbers shown enclosed in a circle. Prior to plan endorsement by the Board indicate Assessors lot numbers enclosed in a square as assigned by the Assessor’s office and indicate street address numbers enclosed in a triangle as assigned by the Building Inspector’s office.”

The proposed lot numbers are not enclosed in a circle and empty rectangles are not provided for each lot, future labeling by the Assessor’s office with the new assessor’s lot numbers and the new street address. MAI recommends that the applicant revise the plans to depict this information.

Response: The lotting sheets have been revised to provide the required information.

MAI considers this matter addressed and closed.

12. Section 3.3.3.3.4. states that the plans show “Frontage and widths (measured at the minimum front setback line) of each proposed lot.”

The proposed frontage and lot width are not shown for the ‘Remaining Land’ or on Lots 1 and 2. MAI recommends that the applicant revise the plans and the zoning chart to depict this information.



Response: The plans have been revised to show the required information.

MAI considers this matter addressed and closed.

13. Section 3.3.3.3.7. states that the plans show “Names of all abutters including those across streets from the subdivision with references to abutter’s Assessors Map/Lot Numbers, deed and plan references.”

The plans do not show this information. MAI recommends that the applicant revise the plans to depict this information.

Response: The plans have been revised to show the required information.

MAI considers this matter addressed and closed.

14. Section 3.3.3.3.8 states that the plans show “Street bounds shown at all angle points, points of curvature or tangency, or as otherwise needed to depict the boundaries of all proposed streets, common driveways, and ways of the subdivision.”

The plans do not show any proposed bounds. MAI recommends that the applicant request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.

Response: The plans have been revised to show the required information.

MAI considers this matter addressed and closed.

15. Section 3.3.3.4.7. states that the plans show “Location, size and type of all proposed street trees.”

Street trees are not proposed as a part of this project. MAI recommends that the applicant request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.

Response: A waiver has been added to the revised list of project waivers to include the requirements of section 3.3.3.4.7.

MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.

16. Section 3.3.3.4.9. states that the plans show “Location of all proposed individual wells and subsurface sewage disposal systems including required setback dimension between same and to lot lines, structures and wetland resource areas.”

The plans show the locations of the proposed wells and subsurface sewage disposal systems. MAI recommends that additional setback dimensions be added to conform compliance with this requirement.

Response: The plans have been revised to show the required information.

MAI considers this matter addressed and closed.

17. Section 3.3.3.4.10 states that the plans show “Location, identification and test results of all soils testing including establishment of ledge, estimated seasonal high groundwater table and percolation/infiltration rates in support of both proposed stormwater and sanitary (septic) facilities.”

There do not appear to have been any test pits, and percolation tests, performed as there is no test pit information provided. There are two (2) notes that state that the septic systems are to be installed in conformance with West Newbury Board of Health and with Title V which require that test pits be performed as a part of the design. The applicant has requested a waiver to perform test pits for the subsurface sewage disposal systems after following the approval from the



Planning Board and Conservation Commission. It is the discretion of the board to accept such waiver request.

Response: The applicant intends to conduct the testing as required and will provide information to Planning Board when completed.

MAI does not object to providing the test pit information to the Planning Board upon completion of the test pits. However, the previous waiver request from Section 3.3.3.4.10 – Waiver to not require test pit locations does not appear on the current list of requested waivers. If the applicant is still intending to request this waiver, it should be shown on the latest waiver request list. If the waiver is requested, then It is the discretion of the board to accept such waiver request.

18. Section 3.3.3.4.11. states that the plans show “Location, size and type of proposed sidewalks, trails, lighting, curbing and Driveways.”

MAI notes that there are no sidewalks, trails, lighting, curbing depicted on the plans. Due to the small scale of this project the applicant has requested a waiver from these design elements. It is the discretion of the board to accept such waiver request.

Response: No response necessary.

MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.

19. Section 3.3.3.4.12. states “Drainage calculations in support of the drainage plan as required by Section 4.4.”

MAI notes that this project is a subdivision comprised of less than four (4) lots, which is exempt from the MassDEP stormwater management standards. As such, drainage calculations are not required and have not been provided. However, it should be noted that sizing calculations of the roadside crushed stone infiltration trench and each of the two (2) roof drywells, have been provided which depict that the trench and the drywells, each have the storage capacity, not accounting for infiltration, for more than a one (1) inch storm event. This complies with the Town of West Newbury Planning Board Stormwater Management Regulations. That said, the applicant has requested a waiver from the requirement to provide stormwater drainage calculations. It is the discretion of the board to accept such waiver request.

Response: No response necessary.

MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.

20. Section 3.3.3.5.1. states that the plans show “Bearings and distances of all tangents along the center line.”

The plans do not depict the required information. MAI recommends that the applicant revise the plans to conform to this requirement.

Response: The plans have been revised to show the required information.

The plans only depict the centerline bearings and distances of the Right-of-Way and not the centerline of the paved common driveway within the Right-of-Way. The plans should be revised to also include the bearings and distances of the centerline of the paved common driveway.

21. Section 3.3.3.5.3. states that the plans show “Radii, arc length and central angle of all curves along the center line.”

The plans do not depict the required information. MAI recommends that the applicant revise the plans to conform to this requirement.



Response: The plans have been revised to show the required information.

The plans only depict the 'radii, arc length and central angle of all curves along the centerline' of the Right-of-Way and not of the paved common driveway within the Right-of-Way. The plans should be revised to also include the 'radii, arc length and central angle of all curves along the centerline' of the paved common driveway.

22. Section 3.3.3.5.13. states that the plans show “Proposed street trees including size and type.”
Street trees are not proposed as a part of this project. MAI recommends that the applicant request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.

A waiver has been added to the revised list of project waivers to include the requirements of section 3.3.3.5.13.

MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.

23. Section 3.3.3.5.16 states that the plans show “Existing left and right, right-of-way profiles drawn in fine lines – dotted for left and dashed for right.”

The plans do not depict the required information. MAI recommends that the applicant revise the plans to conform to this requirement.

Response: The plans have been revised to show the required information.

Sheet 9 of 11 does not appear to depict the left and right profiles. The plans should be revised accordingly.

24. Section 3.3.3.7. (Sections 3.3.3.7.1 and 3.3.3.7.2) Pre- and Post- Development Watershed Plan
MAI notes that this project is a subdivision comprised of less than four (4) lots, which is exempt from the MassDEP stormwater management standards, drainage calculations and Pre- and Post-Development Watershed Plans are not required and therefore have not been provided.

Response: No response necessary.

MAI considers this matter addressed and closed.

25. Section 4.2.4.4. states that the plans show “The minimum centerline radii of curved streets shall be 200 feet.”

The plans do not label the centerline radius of the proposed roadway. MAI recommends that the applicant depict the centerline radius of the proposed roadway to ensure conformance with this requirement.

Response: The plans have been revised to show the required information.

The plans only depict the centerline radius of the Right-of-Way and not the centerline radius of the paved common driveway within the Right-of-Way. The plans should be revised to also include the centerline radius of the centerline of the paved common driveway to confirm a minimum centerline radius of the common driveway of two hundred (200) feet.

26. Section 4.2.4.5. states “At intersections between proposed subdivision streets and existing streets external to the subdivision, sufficient sight distance shall be provided to ensure the safe egress of vehicles from the subdivision. In determining adequacy of sight distance, consideration shall be given to the traffic characteristics, including speed, volume and composition, of the traffic on all streets involved. In no case shall the sight distance available to drivers egressing a subdivision be less than 250 feet.”



The required sight distance is not met in a southerly direction, and it cannot be determined if it is met in a northerly direction as the limits of the pavement are not shown. Sight distance looking north should line up with south bund traffic. It should be noted that there is a utility pole and existing vegetation to the south of the proposed drive that may impede on the site distance. Due to the unique character of this project, the applicant has requested a waiver from the sight distance requirement. It is the discretion of the board to accept such waiver request.

Response: As stated in the comment, a waiver has been requested for Section 4.2.4.5.

Additionally, the plans have been revised to require the removal of vegetation which may impede site distance looking in the easterly direction of the site entrance.

The note on Sheet 7 of 11 should be revised to state: "Shrubs/plants to be removed to improve sight distance as required by and to the satisfaction of the Planning Board". MAI differs to the Planning Board regarding the granting of the waiver.

27. Section 4.2.4.6. states "Streets shall be laid out so as to intersect as nearly as possible at right angles. No street shall intersect any other street at less than 60 degrees."

The proposed roadway intersection angle was not provided. MAI recommends that the applicant revise the plans to conform to this requirement.

Response: The proposed roadway is designed to intersect at a 90-degree angle to River Road, a notation has been added to the Layout & Materials plan to specify this angle.

MAI considers this matter addressed and closed.

28. Section 4.2.4.7. states "Property lines at street intersections shall be rounded or cut back to provide for a curb line radius of not less than 15 feet. Greater radii shall be required by the Board where deemed necessary for present and future vehicular travel."

The proposed pavement radii proposed at the intersection of the proposed roadway with River Road are twelve (12) feet. MAI recommends that the applicant revise the plans to conform to this requirement.

Response: The plans have been revised to show the pavement radius to be 15'.

MAI considers this matter addressed and closed.

29. Section 4.2.4.9. states "The minimum frontage on the existing street of the parcel to be subdivided shall be at least the frontage required for the zoning district in order to provide for the right-of-way and buffers to abutting property."

The proposed subdivision appears to comply with the requirement that the property must have the minimum frontage required in order to provide a right-of-way. The Land for 125 River Road, has frontage in two (2) locations, one (1) to the far west of the proposed Right-of-Way and one (1) at the location of the proposed Right-of-Way. Once the frontage is split between 125 and 171, 125 still maintains frontage in excess of two hundred (200) feet on the far westerly portion of the property. However, the frontage in the location of the proposed Right-of-Way appears to be under two hundred (200) feet. With that said, and due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.

Response: It has been determined by the Zoning Officer that 125 River Road as currently constituted does have the required frontage, however, to the extent a waiver is necessary the waiver requests remain on the revised list of waivers. Additional frontage has been provided for #125 River Road (shown as "remaining area" on plans) on the proposed ROW.



MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.

30. Section 4.2.4.11. states “Unless there are compelling reasons to do otherwise, the centerline of the road shall be located from the sidelines of the existing abutter lots a distance of at least one half the frontage required from the zoning district.”

The proposed subdivision centerline does not comply with this requirement. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.

Response: No response necessary.

MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.

31. Section 4.2.5.1. states “Modified Cape Cod berm shall be required along all edges of pavement unless an alternative design is approved by the Board.”

The plans do not show any curbing. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.

Response: No response necessary.

MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.

32. Section 4.2.6.3. states “The minimum width of the traveled way of the subdivision roadway shall be... 20 feet for a Minor Local Access Road... Traveled width may be reduced to 18 feet on roadways at the discretion of the Planning Board, Public Safety and the Highway Superintendent on minor local access roads based on grade and drainage requirements.”

The plans propose a roadway width of what appears to be over twenty (20) feet at the site entrance, a width of eighteen (18) feet elsewhere and a reduced width of fifteen (15) feet at the wetland crossing. The plans should clarify the width of the pavement at the entrance. It should also be noted that the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.

Response: The plan has been revised to show an 18’ wide paved traveled way which will reduce 15’ in width at the two areas where wetlands will be impacted in order to minimize wetland impacts to the extent possible, as required by the Conservation Commission, in order to gain access to uplands.

MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.

33. Section 4.8.2.2. states “Dead end streets or combination of two dead end streets shall not exceed 800 feet in length unless, in the opinion of the Board, a greater length is necessitated by topography or other local conditions. Dead end streets shall be provided at the closed end with a turnaround having an outside pavement diameter of 100 feet and a property line diameter of 120 feet.”

The plans depict a hammerhead (‘T’) turnaround in lieu of a circular cul-de-sac. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.



Response: No response necessary. It should be noted that the Fire Department has reviewed the plans with hammer head turnaround and did not have issues with what is provided.

MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.

34. Section 4.2.8.3. states “Circular turnarounds shall provide a landscape island in the center. The applicant shall submit a landscape plan for the central portion of turnaround.”

The plans depict a hammerhead (‘T’) turnaround in lieu of a circular cul-de-sac. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.

Response: No response necessary. It should be noted that the Fire Department has reviewed the plans with hammer head turnaround and did not have issues with what is provided.

MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.

35. Section 4.2.10.2. states “Construction shall not be proposed of roads, stormwater management systems, driveways, pipes, or other infrastructure construction shown on a subdivision plan on a land area which slopes at a pre-construction grade of 25% or more.”

MAI recommends that the plans be revised to depict any locations, within the limit of work within the site, with a pre-construction grade of twenty-five (25) percent or greater they should be shown on the plan set. Should there not be any areas with slopes greater than twenty-five (25) percent, then a note should be added.

Response: The plans have been revised to show and label the existing slopes of 25% or greater.

MAI considers this matter addressed and closed.

36. Section 4.3.1.1. states “A sidewalk shall be located within, and adjacent to, the exterior line of the right-of-way. In a typical layout, the sidewalk shall be located at a uniform distance parallel to the paved section of the street and separated from it by a landscaped strip. The Board may approve a “meandering” location in which the sidewalk follows existing terrain, with consideration to stone walls, large, mature trees, rock outcroppings and other natural or historically significant features, enabling the construction of the sidewalk to minimize disturbance to such features. All or portions of a meandering sidewalk may be located outside the right-of-way provided that a proper easement is granted to the Town.”

The plans do not propose sidewalks. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.

Response: No response necessary.

MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.

37. Section 4.3.1.5. states “Applicants are encouraged to provide for footpaths and trails within the subdivision or connecting to abutting permanent open space, town property, or other subdivisions.”

The plans do not propose footpaths or trails within the project area. The undeveloped portion of the property is to remain. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.



Response: No response necessary.

MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.

38. Section 4.3.1.6. states “Bicycle Path/Recreational Path: The Planning Board may request the construction of a bicycle path/recreational path in order to: (a) provide a connection to a Town bicycle path/recreational path located on adjoining land; or (b) where the path would be part of an existing or proposed future Town bicycle path/recreational path system, or bicycle path/recreational paths leading to a public school.”

The plans do not propose bicycle paths or recreational paths. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.

Response: No response necessary.

MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.

39. Section 4.4. “Stormwater Management”

MAI notes that since this project is a subdivision comprised of less than four (4) lots, that it is exempt from the MassDEP stormwater management standards. As such, drainage calculations are not required and have not been provided. That said, the applicant has requested a waiver from the requirement to provide stormwater management beyond what is described above. It is the discretion of the board to accept such waiver request.

Response: No response necessary.

MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.

40. Section 4.4.1 states “Stormwater management for each subdivision shall accomplish the following:

- (1) Reproduce, as nearly as possible, the hydrological conditions in the ground and surface waters prior to the development;

The proposed drainage design matches to the extent possible the existing hydrological conditions with the proposal design by promoting recharge of impervious surfaces (roof, driveway) and by matching grades to the extent possible.

MAI considers this matter satisfactorily addressed and closed.

- (2) (Reduce stormwater pollution to the maximum extent possible using Best Management Practices (BMP’s);

Stormwater pollution has been reduced to the maximum extent possible by incorporating recharge trenches in (to) capture and recharge runoff from the proposed paved travel way and by the incorporating drywells to recharge roof runoff on both lots 1 and 2.

MAI considers this matter satisfactorily addressed and closed.

- (3) Have an acceptable future maintenance plan covering method and execution;

An Operation & Maintenance plan has been developed for future maintenance of the proposed stormwater management system so that required maintenance is part of the record decision.

An Operations and Maintenance Plan was submitted in the Stormwater Management Permit Application. MAI considers this matter satisfactorily addressed and closed.



- (4) Have a beneficial effect on the natural and human environment;
The proposed stormwater BMPS will have a beneficial effect on the environment by promoting recharge of stormwater and mimicking to the extent possible existing drainage patterns.
MAI considers this matter satisfactorily addressed and closed.
- (5) Be appropriate for the site, given the site's specific physical constraints;
Given the small nature of the proposed development (the construction of two single family dwellings) the proposed stormwater BMPs are appropriate for the site.
MAI considers this matter satisfactorily addressed and closed.
- (6) Provide a sufficient level of health and environmental protection during the construction phase, and
The project proposes a staked erosion and sedimentation control (ESC) barrier surrounding the limit of work to prevent sedimentation and erosion of the downstream resource areas, additionally a stabilized construction entrance is proposed at the site entrance to prevent sediment from entering River Road. The ESC barrier will also serve the purpose of demarcating the limit of work during construction.
MAI considers this matter satisfactorily addressed and closed.
- (7) Provide proper management prior to the discharge of such runoff onto adjacent property owned by others, into the existing storm drainage system, or wetland resources listed in the Wetland Protection Act Regulations, 310 CMR 10.00."
As stated previously, the project is not subject to the Massachusetts Stormwater Standards, as it is a subdivision of four or fewer lots, however stormwater BMPs are proposed and incorporated into the design to mitigate stormwater runoff from the site including a crushed stone recharge trench to infiltrate runoff from the proposed paved traveled way and the roof drywells which will infiltrate runoff from the proposed roofs.
MAI considers this matter satisfactorily addressed and closed.

MAI recommends that the applicant provide documentation and explanations and descriptions that address how each of the seven (7) items, listed above, are specifically addressed, to the greatest extent practicable, by the design of the project.

Response: See above for each item.

MAI considers this matter addressed and closed.

41. Section 4.4.2 states ""Stormwater management systems located outside the right of wall shall be owned, maintained by the residents of the subdivision, under a homeowner's association established in a form satisfactory to the Board. Prior to the Planning Board's endorsement of the subdivision plans, developers shall provide the Town with appropriate easements to such stormwater systems so that the Town may inspect and/or carry out emergency maintenance or repairs when necessary to protect the health, safety and welfare of the public. Notation of this effect shall be made on the plan and recorded at the Registry of Deeds."

This notation is not depicted on the plan. MAI recommends that the plans are revised to depict this note. MAI also recommends that this note be modified to include that the thirty (30) inch RCP culvert, the six (6) inch HDPE culvert (or potentially twelve (12) inch RCP culvert), the



roadside crushed stone infiltration trench and the eight (8) foot diameter crushed stone settling pool be owned and maintained by the residents of the subdivision.

Response: A note (note 1) has been added to the list of general notes to address this comment.
MAI considers this matter addressed and closed.

42. Section 4.4.9. states “The size of storm sewer pipe shall be in accordance with the drainage computations but in no case less than 12” diameter and shall be shown on the Definitive Plan. Cellar drains shall not be connected into catch basins, manholes, pipes or any part of the street storm drain system and in no case shall discharge into the right-of-way or street. Foundation, perimeter or roof drains may be connected into the street drainage system if approved by the Town DPW.”

The plans depict a six (6) inch roof drain HDPE pipe, from the existing dwelling, discharging to the western side of the proposed roadway, within the proposed right-of-way. MAI recommends that this pipe be increased to a minimum twelve (12) inch diameter RCP and/or redirected as to not discharge within the right-of-way. MAI also recommends that the applicant request a waiver and provide rationale to allow the pipe to remain as is, and/or increased in diameter or revise the plans to conform to this requirement.

Response: The plans have been revised to show the existing 6” drain pipe to be cut back outside of the proposed ROW. All other drainage on the site is proposed to be a minimum of 12” in diameter.

MAI considers this matter addressed and closed.

43. Section 4.5: ‘Water Distribution Systems’

The project is not proposed to connect to a municipal water system, as such, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.

Response: No response necessary.

MAI considers this matter addressed and closed and differs to the Planning Board regarding the granting of the waiver.

44. Section 4.6.3.5. “Cistern Design”

MAI recommends that the plans be revised to depict the Cistern Design Requirement notes stated in Section 4.6.3.5. and Section 4.6.3.6.

Response: The cistern detail has been revised to include the suggested notes.

There are spelling errors that should be corrected in these notes.

45. Section 4.7.3. states “No components of any private irrigation system shall be installed within the street right-of-way.”

MAI recommends that the plans be revised to depict this note.

Response: The plans have been revised to include the suggested note (note 17 on the Grading & Utilities Plan).

MAI considers this matter addressed and closed.

46. Section 4.7.4. states “Electrical transformers shall be located outside the Town’s right-of-way and on the property line with appropriate easements provided to the electric utility.

MAI recommends that the plans be revised to depict this note.



Response: The plans have been revised to include the suggested note (note 18 on the Grading & Utilities Plan).

MAI considers this matter addressed and closed.

B. Town of West Newbury Planning Board Stormwater Management Regulations

The submittal of this Definitive Subdivision Plan set, and accompanying documents appear to be completed in general conformance with the Town of West Newbury Planning Board Stormwater Management Regulations (Sections 8, 9.1, 10.1 and Appendix D) with the following exceptions:

1. Section 8.1: These items appear to have been addressed in the Definitive Subdivision Plans and in the Stormwater Management Permit Project Narrative. The Applicant has provided revised Stone Trench and Drywell Details which are to be incorporated into the revised Definitive Subdivision Plans.

MAI has no further comments on this Section.

Response: No response necessary.

MAI considers this matter addressed and closed.

2. Section 8.2 states: "Projects eligible for Tier Two Stormwater Management Permits shall meet the construction-site stormwater management performance standards detailed in Section 7.2 to the maximum extent practicable." With that said:

- 2.1. Section 7.2.(10) states: "Dewatering activities shall use tanks, filter bags, or other practices to remove sediment before discharge, in accordance with the standards and requirements contained within the NPDES Construction General Permit. Water shall not be discharged in a manner that causes erosion or flooding"

MAI recommends that the plans be revised to depict this note.

Response: The plans have been revised to include the suggested notes (notes 19-22 on the Grading & Utilities Plan).

MAI considers this matter addressed and closed.

- 2.2. Section 7.2.(12) states: "Trash, debris, and sanitary wastes shall be removed from the site on a regular basis. Dumpsters shall be covered at the end of every workday and before rain events. Dumpsters shall be located outside the 100-foot buffer zone for wetland resource areas. Dumpsters shall not be allowed to leak or otherwise discharge to any stormwater conveyance, storm drain inlet, or wetland resource area. Concrete mixers shall be washed out only in designated areas with liners. Designated areas for washing concrete mixers shall be located outside the 100-foot buffer zone for wetland resource areas and outside the 200-foot Riverfront Area. Demolition debris, discarded building materials, concrete truck wash out, chemicals, litter, and sanitary wastes shall not be discharged to the MS4 and shall be disposed of in compliance with all local, state, and federal requirements."

MAI recommends that the plans be revised to depict this note.

Response: The plans have been revised to include the suggested notes (notes 19-22 on the Grading & Utilities Plan).

MAI considers this matter addressed and closed.



2.3. Section 7.2.(13) states: “Stormwater management facilities to be used after construction shall not be used as BMPs during construction unless otherwise approved by the Stormwater Authority.

MAI recommends that the plans be revised to depict this note.

Response: The plans have been revised to include the suggested notes (notes 19-22 on the Grading & Utilities Plan).

MAI considers this matter addressed and closed.

2.4. Section 7.2.(14) states: “Dust control shall be used during grading operations. Dust control methods may consist of grading fine soils on calm days only or dampening the ground with water; no salts or other wetting agents shall be used for dust control within wetland resource areas, 100-foot buffer zone for wetland resource areas, or 200-foot Riverfront Area.”

MAI recommends that the plans be revised to depict this note.

Response: The plans have been revised to include the suggested notes (notes 19-22 on the Grading & Utilities Plan).

MAI considers this matter addressed and closed.

3. Section 9.1: This item appears to have been addressed in the Definitive Subdivision Plans and in the Stormwater Management Permit Project Narrative.

MAI has no further comments.

Response: No response necessary.

MAI considers this matter addressed and closed.

4. Section 10.1: This item appears to have been addressed in the Definitive Subdivision Plans and in the Stormwater Management Permit Project Narrative.

MAI has no further comments.

Response: No response necessary.

MAI considers this matter addressed and closed.

C. General Application and Plan Comments

The following comments are in addition to the plan comments listed above under the Town of West Newbury Subdivision Plan Regulation review and the Town of West Newbury Stormwater Management Regulation review, although there may be some duplicates;

1. Sheet 1 of 10:

1.1. Zoning Summary Chart should be revised per comments above;

1.2. List of Waivers should be updated per comments and applicable responses above;

1.3. Waiver 4.2.6.3 should state 15’ not 12’;

1.4. Locus Plan should show Lot 3 and ‘Remaining Area’;

Response: The Plans and List of Waivers have been revised as suggested.

1.2: The previous waiver request from Section 3.3.3.4.10 – Waiver to not require test pit locations does not appear on the current list of requested waivers. If the applicant is still intending to request this waiver, it should be shown on the latest waiver request list. If the waiver is requested, then It is the discretion of the board to accept such waiver request.

1.4: The Locus Plan does not properly depict Lot 1 and the Remaining Area.

2. Sheet 2 of 10:



- 2.1. The lot widths for Lots 2 and 3 should be added;
- 2.2. Proposed bounds should be depicted on the proposed Right-of-Way;
- 2.3. Show the property owner on the opposite side of River Road (all sheets);

Response: The Plans and have been revised as suggested.

MAI considers these matters addressed and closed.

3. Sheet 3 of 10:

3.1. No Comments;

Response: No response necessary.

MAI considers this matter addressed and closed.

4. Sheet 4 of 10:

4.1. No Comments;

Response: No response necessary.

MAI considers this matter addressed and closed.

5. Sheet 5 of 10:

5.1. No Comments;

Response: No response necessary.

MAI considers this matter addressed and closed.

6. Sheet 6 of 10:

6.1. Show 100-foot wellhead circles for the proposed wells;

6.2. Add setback dimensions to wetlands from proposed leaching fields;

6.3. Label Cistern as: 'Proposed 16,000 gal. Cistern';

Response: The Plans and have been revised as suggested.

MAI considers these matters addressed and closed.

7. Sheet 7 of 10:

7.1. Show 100-foot wellhead circles for the proposed wells;

7.2. Add note to the effect that soils testing will be performed in the final location of the roof drywells. Final locations, elevations and other design information of the drywells will be submitted to the Planning Board prior to installation.

7.3. Label Cistern as: 'Proposed 16,000 gal. Cistern';

Response: The Plans and have been revised as suggested.

MAI considers these matters addressed and closed.

8. Sheet 8 of 10:

8.1. No Comments

Response: No response necessary.

MAI considers this matter addressed and closed.

9. Sheet 9 of 10:

9.1. Provide a detail of the eight (8) foot diameter crushed stone settling pool;

9.2. Add note to the dry well detail to the effect that soils testing will be performed in the final location of the roof drywells. Final locations, elevations and other design information of the drywells will be submitted to the Planning Board prior to installation.



**Response: The Plans and have been revised as suggested.
MAI considers these matters addressed and closed.**

10. Sheet 10 of 10:

10.1. MAI defers to the Conservation Commission for review of the wetland replication plantings and details.

Response: : No response necessary.

MAI considers this matter addressed and closed.

D. 'NEW' General Application and Plan Comments

The following are 'new' comments are in addition to the plan comments listed above:

1. Sheet 7 of 11:

1.1. Proposed Shea Block Retaining Wall callout does not point to the proposed wall;

1.2. MAI recommends denoting which trees are to be removed or protected;

2. Sheet 8 of 11:

2.1. Proposed Shea Block Retaining Wall callout does not point to the proposed wall;

2.2. MAI recommends denoting which trees are to be removed or protected;

2.3. The (26) contour label does not appear to be on the contour line;

2.4. Invert information for the two (2) twelve (12) inch culverts are not provided;

2.5. Elevations for the '8' Diameter Settling Pool' should be provided;

2.6. The UGE/T location shown on plan view does not match the location shown on the typical or 'requested typical roadway section' cross sections on Sheet 9 of 11;

3. Sheet 9 of 11:

3.1. The UGE/T location shown on plan view on Sheet 8 of 11, does not match the location shown on the typical or 'requested typical' roadway cross section;

3.2. The 'requested typical roadway section' roadway cross section depicts the proposed eighteen (18) foot wide pavement to be in the center of the Right-of-Way, however, the plans show otherwise. Both widths of the pavement (15 and 18 feet) should be shown on the 'requested typical roadway section'.

3.3. The centerline bearings, distances etc. for the paved roadway should be shown;

3.4. Information for the two (2) twelve (12) inch culverts are not provided;

3.5. The thirty (30) inch culvert is not shown in the profile;

3.6. The left and right profiles are not depicted on the profile;

4. Sheet 10 of 11:

4.1. Elevations for the '8' Diameter Settling Pool' should be provided;

4.2. Spelling errors in the Fire Cistern Detail notes should be corrected;



I look forward discussing these items with you at a Planning Board Public Hearing date to be determined. Note that additional comments may arise during future conversations with the Applicant and the Town and at the Planning Boards Site Walk which is scheduled to occur after the date of the completion of this letter. Please do not hesitate to contact me with any questions, comments or concerns via email at dkelley@meridianassoc.com or via phone at (978) 265-5402.

Sincerely,

MERIDIAN ASSOCIATES, INC.

A handwritten signature in blue ink that reads "D S Kelley". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

David S. Kelley, P.E.
Vice President

April 29, 2024

Town of West Newbury
Planning Board
381 Main Street
West Newbury, MA 01985

**Re: 125 River Road
Definitive Two-Lot Subdivision
Revised List of Requested Waivers**

Members of the Board:

On behalf of the Applicant, Michael Fusco, the following is a list of waivers from the town of West Newbury's Rules and Regulations Governing the Subdivision of Land adopted October 3, 2006, amended September 16, 2019, and requested for the proposed definitive subdivision which would create two buildable lots for the proposed construction of two single family residential dwellings.

The section of the Rules and Regulations Governing the Subdivision of Land from which a waiver is requested is listed below in *italic* font immediately and a rationale as to why the waiver is required and why it is appropriate to be granted by the Board in **bold** font immediately following.

Section 3.3.1.5 – Waiver to allow for the elevations to be NAVD 1988 datum rather than NGVD-1929 MSL.

Reasoning – NAVD 1988 is a more accurate than its predecessor (NGVD29), additionally, the flood elevation listed by FEMA along the Merrimack River uses NAVD 1988.

Section 3.3.3.1.11 – Waiver from requirement to locate all trees over ten (10") inches in diameter within right-of-way.

Reasoning – Trees within the proposed right-of-way (ROW) have been located via an instrument survey and shown on the plans. The proposed ROW has been laid on as necessary based on site conditions (topography, wetlands, etc) and the paved travel way has been reduced to 18' in width (15' in width at wetland crossing) to reduce potential impacts and to limit the required clearing for the proposed way.

Section 3.3.3.2.1 – Waiver from requirement to show major existing features of the land such as waterways, wetlands in and within 100' of the subdivision.

Reasoning – All of the major existing features of the land in and within 100' of the proposed limit of work are shown on the plans; additional location of these features would not benefit the project or the Planning Boards review of the project.

Section 3.3.3.2.4 – Waiver to not require average daily traffic counts of the roadway.

Reasoning – The proposed addition of two single family dwellings will have little impact on the average daily traffic counts of the roadway.

3.3.3.4.7 – Waiver from requirement for street trees.

Reasoning – The proposed project intends to preserve large existing wooded areas, as such a waiver is requested for the planting of street trees.

3.3.3.4.11 - *Waiver to require location, size, and type of sidewalk, trails, lighting and curbing.*

Reasoning – Due to the small scale of the project (two buildable lots), a waiver is requested from the elements.

3.3.3.4.12 – *Waiver from the requirement for drainage calculations.*

Reasoning – The project is not subject to the state’s stormwater standards as it is a subdivision with four or fewer lots, and proposed roof and driveway recharge systems have been incorporated into the design to promote stormwater recharge and treatment and to mitigate stormwater runoff.

3.3.3.5.13 - *Waiver from proposed street trees including size and type.*

Reasoning – The proposed project intends to preserve large existing wooded areas, as such a waiver is requested for the planting of street trees.

4.2.4.5 - *Waiver from requirement of 250' sight distance.*

Reasoning – The required 250' is provided looking west along the current public way, however the existing road geometry of River Road does not permit a 250' sight distance to the right of the proposed private way.

4.2.4.9 – *Waiver from the requirement that the frontage on the existing street of parcel shall be at least the frontage required of the zoning district.*

Reasoning – The two parcels which will comprise the proposed subdivision do have the required frontage when their individual lot frontages are combined; however, 125 does not have the required frontage at the location of proposed right of way to the extent necessary, a waiver is requested from this requirement.

4.2.4.11 – *A waiver is required to allow for the right of way to be less than 1/2 the frontage required for the zoning district away from the abutting lot.*

Reasoning – The center line of the right of way is located ±82' from the abutting lot, however the traveled way within the row is located 91' from the abutting lot, the proposed location of the right of way and paved traveled way layout have been driven by the location of the dwelling and barn at #171 River Road. Ample buffering to the adjacent lot is provided by the existing wooded area that is to remain.

4.2.5.1 – *Waiver to not required curbing for this proposed subdivision.*

Reasoning – The project will result in the creation of a private way, which would be considered a minor local access road, meaning that the curbing and berm requirements are unnecessary due to the small nature of the project.

4.2.6.3 – *Waiver to allow for the traveled way width to be 18' and to narrow down to 15' at the wetland crossing*

Reasoning – The regulations allow for a reduction to 18' and lower as the planning board sees fit. Due to the limited travel and traffic of the road, an 18' reduction would be appropriate for the road. Furthermore, the 15' reduction at the wetland crossing is in line with what is required by MassDEP for a limited project to provide access to an upland site, the 15' reduction will help to reduce further impacts on the wetland resource areas and their proposed remediation areas.

4.2.8.2 – *Waiver to allow for dead end driveway (street) to not require a cul-de-sac with a hammer head turnaround.*

Reasoning – A hammerhead turnaround is provided to allow for the turnaround of vehicles.

4.2.8.3 – *Waiver to not require landscaped island in center of cul-de-sac as a cul-de-sac is not proposed.*

Reasoning – A cul-de-sac is not proposed, see above, as such a waiver is requested from this requirement.

4.3.1.1 – *Waiver to not require sidewalks, pedestrian or bicycle trails.*

Reasoning – The proposed private way is considered a minor local access road, meaning that there is no requirement for the creation of sidewalks and trails for bicycles and pedestrians.

4.3.1.5 – *Waiver to not require footpath and trails within the subdivision.*

Reasoning – The requirements for footpaths and trails are not applicable to the current proposed project, due to the abutting properties not having any of the relevant criteria put forth for requiring footpaths and trails within the subdivision, and thus should be waived.

4.3.1.6 – *Waiver to not require bicycle path/recreation path.*

Reasoning – The requirements for bicycle and recreation paths are not applicable to the proposed project, as the abutting properties are not host to existing town recreational paths and the area would not be considered a part of proposed future systems.

4.4 – *Waiver from the requirements to provide stormwater management requirements and calculations.*

Reasoning – The proposed project provides stormwater mitigation by roof recharge chambers and driveway runoff crushed stone trenches.

4.5 – *Waiver from the requirements to provide water mains*

Reasoning – The proposed house lots' water requirements will be supplied by proposed private wells, and require no installation of water mains.

If you have any questions concerning the attached, or require anything further, please feel free to contact me at your convenience.

Sincerely,

Andover Consultants Inc.



Dennis A. Grieci, P.E., LEED AP

Enclosure

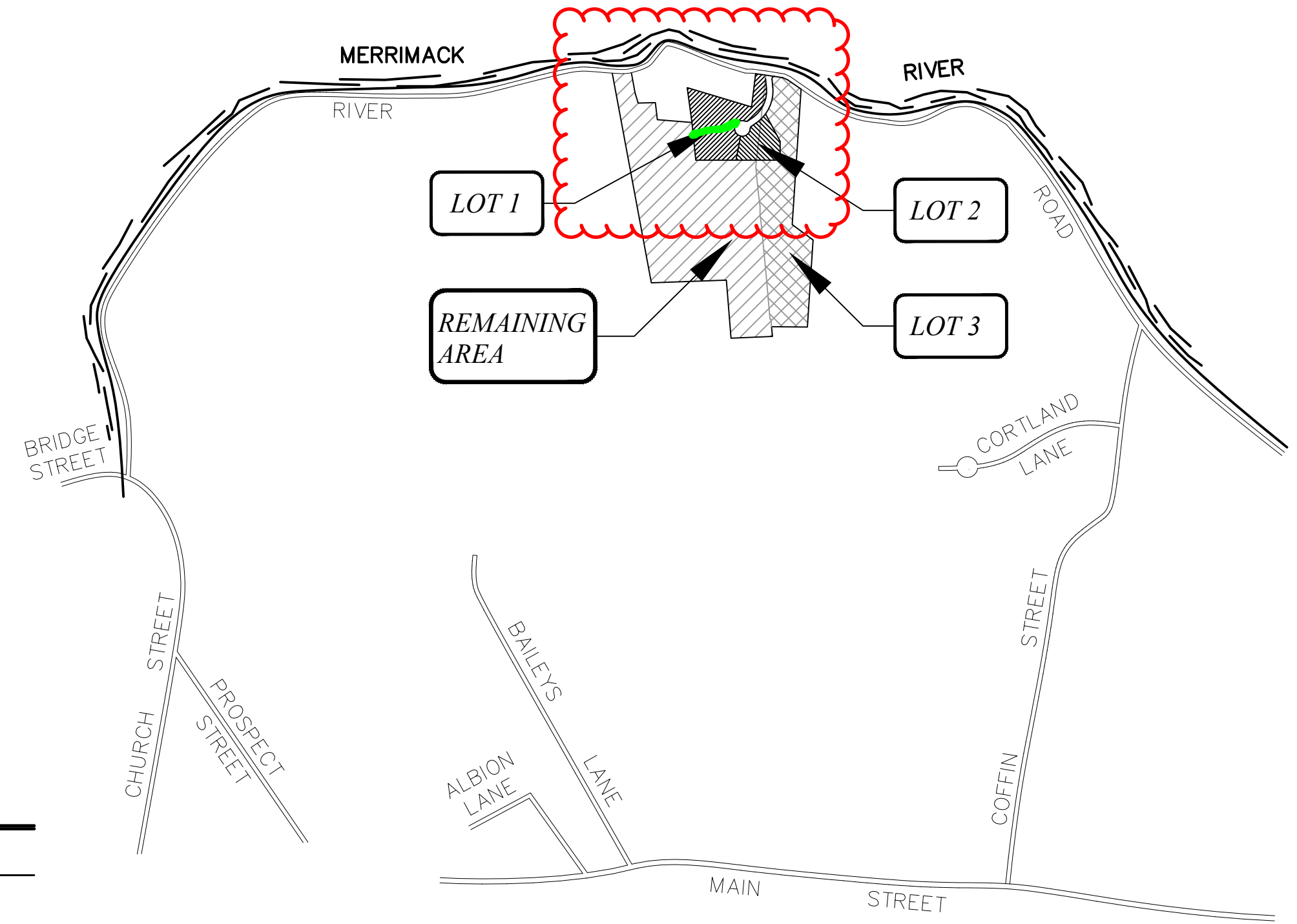
Cc: Owner/Applicant
MassDEP

Definitive Subdivision "Eagle Nest" River Road

West Newbury, Massachusetts

Issued for Permitting
Not Approved for Construction

- WAIVERS SOUGHT:
- 3.3.1.5 - WAIVER TO ALLOW FOR THE ELEVATIONS TO BE NAVD 1988 DATUM RATHER THAN NGVD-1929 MSL.
 - 3.3.3.1.11 - WAIVER FROM REQUIREMENT TO LOCATE ALL TREES OVER TEN (10") INCHES IN DIAMETER WITHIN RIGHT-OF-WAY.
 - 3.3.3.2.1 - WAIVER FROM REQUIREMENT TO SHOW MAJOR EXISTING FEATURES OF THE LAND SUCH AS WATERWAYS, WETLANDS IN AND WITHIN 100' OF THE SUBDIVISION. **3.3.3.4.10?**
 - 3.3.3.2.4 - WAIVER TO NOT REQUIRE AVERAGE DAILY TRAFFIC COUNTS OF THE ROADWAY.
 - 3.3.3.4.7 - WAIVER FROM REQUIREMENT FOR STREET TREES.
 - 3.3.3.4.11 - WAIVER TO REQUIRE LOCATION, SIZE, AND TYPE OF SIDEWALK, TRAILS, LIGHTING AND CURBING.
 - 3.3.3.4.12 - WAIVER FROM THE REQUIREMENT FOR DRAINAGE CALCULATIONS.
 - 3.3.3.5.13 - WAIVER FROM PROPOSED STREET TREES INCLUDING SIZE AND TYPE.
 - 4.2.4.5 - WAIVER FROM REQUIREMENT OF 250' SIGHT DISTANCE.
 - 4.2.4.9 - WAIVER FROM THE REQUIREMENT THAT THE FRONTAGE ON THE EXISTING STREET OF PARCEL SHALL BE AT LEAST THE FRONTAGE REQUIRED OF THE ZONING DISTRICT.
 - 4.2.4.11 - A WAIVER IS REQUIRED TO ALLOW FOR THE RIGHT OF WAY TO BE LESS THAN 1/2 THE FRONTAGE REQUIRED FOR THE ZONING DISTRICT AWAY FROM THE ABUTTING LOT.
 - 4.2.5.1 - WAIVER TO NOT REQUIRED CURBING FOR THIS PROPOSED SUBDIVISION.
 - 4.2.6.3 - WAIVER TO ALLOW FOR THE TRAVELED WAY WIDTH TO BE 18' AND TO NARROW DOWN TO 15' AT THE WETLAND CROSSING
 - 4.2.8.2 - WAIVER TO ALLOW FOR DEAD END DRIVEWAY (STREET) TO NOT REQUIRE A CUL-DE-SAC WITH A HAMMER HEAD TURNAROUND.
 - 4.2.8.3 - WAIVER TO NOT REQUIRE LANDSCAPED ISLAND IN CENTER OF CUL-DE-SAC AS A CUL-DE-SAC IS NOT PROPOSED.
 - 4.3.1.1 - WAIVER TO NOT REQUIRE SIDEWALKS, PEDESTRIAN OR BICYCLE TRAILS.
 - 4.3.1.5 - WAIVER TO NOT REQUIRE FOOTPATH AND TRAILS WITHIN THE SUBDIVISION.
 - 4.3.1.6 - WAIVER TO NOT REQUIRE BICYCLE PATH/RECREATION PATH.
 - 4.4 - WAIVER FROM THE REQUIREMENTS TO PROVIDE STORMWATER MANAGEMENT REQUIREMENTS AND CALCULATIONS.
 - 4.5 - WAIVER FROM THE REQUIREMENTS TO PROVIDE WATER MAINS



LOCUS PLAN SCALE: 1"=1,200'

Drawing Sheet Index				
Number	Drawing Title	Original Submittal Date	Revised Date	
1 of 11	Cover Sheet	11/20/2023	4/29/2024	
2 of 11	Overview	11/20/2023	4/29/2024	
3 of 11	Lotting Sheet 1 of 3	11/20/2023	4/29/2024	
4 of 11	Lotting Sheet 2 of 3	11/20/2023	4/29/2024	
5 of 11	Lotting Sheet 3 of 3	11/20/2023	4/29/2024	
6 of 11	Existing Conditions	11/20/2023	4/29/2024	
7 of 11	Layout & Materials	11/20/2023	4/29/2024	
8 of 11	Grading & Utilities	11/20/2023	4/29/2024	
9 of 11	Plan & Profiles	11/20/2023	4/29/2024	
10 of 11	Site Details 1	11/20/2023	4/29/2024	
11 of 11	Wetland Replication Detail	11/20/2023	4/29/2024	

APPROVED BY THE TOWN OF WEST NEWBURY PLANNING BOARD

DATE _____

FILED _____

HEARING _____

_____, CLERK OF THE TOWN OF WEST NEWBURY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SUCH NOTICE.

TOWN CLERK

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF MASSACHUSETTS.

REG. PROF. ENGINEER

ASSESSORS/OWNERS OF RECORD:

PARCEL R24-12
FUSCO FAMILY IRREVOCABLE TRUST
ANTHONY J. FUSCO &
N. DAWNE FUSCO TRUSTEES
125 RIVER ROAD
WEST NEWBURY, MA 01985
BOOK 25609 PAGE 254
PLAN LC 33173-A

PARCEL R24-10A
SHARMAN E. GINGRICH TRUST
SHARMAN E. GINGRICH &
CHRISTOPHER F. HARRIS TRUSTEES
171 RIVER ROAD
WEST NEWBURY, MA 01985
BOOK 34827 PAGE 450
PLAN BOOK 173 PLAN 64

DEED REFERENCE:
ESRO BOOK 14031, PAGE 76
ESRO BOOK 34827, PAGE 450

Zoning Summary Chart

Zoning District:	Residential B				
Zoning Regulation Requirements	Required	Proposed Lot 1	Proposed Lot 2	Proposed Lot 3	Remaining Area
MINIMUM LOT AREA	40,000 S.F.	101,477 S.F.	52,642 S.F.	563,010 S.F.	1,363,690 S.F.
PERCENT CONTIGUOUS AND BUILDABLE	30,000 S.F. (75%)	93,052 S.F.	45,800 S.F.	130,000 S.F.±	>>30,000 S.F.±
FRONTAGE	200 Feet	205.43 FEET	259.69 FEET	315.84 FEET	536.47 FEET
FRONT YARD SETBACK	40 Feet	>40 Feet	>40 Feet	>40 Feet	>40 Feet
SIDE YARD SETBACK	20 Feet	>20 Feet	>20 Feet	>20 Feet	>20 Feet
REAR YARD SETBACK	20 Feet	>20 Feet	>20 Feet	>20 Feet	>20 Feet
MINIMUM LOT WIDTH	180 Feet	294.36 Feet	271.6 Feet	356.18 Feet	388.58 Feet
MAXIMUM LOT COVERAGE	30%	4.90%	4.50%	3.00%	<30%
MAXIMUM BUILDING COVERAGE	25%	2.40%	4.60%	0.90%	<25%
MAXIMUM BUILDING HEIGHT	35 Feet	<35 Feet	<35 Feet	<35 Feet	<35 Feet

- LEGEND:
- EXISTING CONTOUR
 - A-S EDGE OF WETLANDS
 - EXISTING EDGE OF WOODS
 - W EXISTING WATER
 - G EXISTING GAS
 - D EXISTING DRAIN
 - S EXISTING SEWER
 - EXISTING EDGE OF PAVEMENT
 - (40) PROPOSED CONTOUR
 - P-W PROPOSED WATER
 - PROPOSED STRAW BALES OR SILT SOXX
 - PROPOSED EDGE OF WOODS
 - PROPOSED RETAINING WALL
 - RD PROPOSED ROOF DRAIN
 - UGE/T PROPOSED UNDERGROUND ELEC./TEL./COMM

Revision No.	Revision Description	Date
2	PER PEER REVIEW COMMENTS	04/29/2024
1	REVISIONS PER INITIAL PEER REVIEW	12/18/2023

COVER SHEET
DEFINITIVE SUBDIVISION
EAGLE NEST
WEST NEWBURY, MASS.

PREPARED FOR: MICHAEL FUSCO
DATE: NOVEMBER 23, 2023
SCALE: 1"=40'

andover consultants inc.
1 East River Place
Methuen, Mass. 01844
Telephone: 978-687-3828

Dennis A. Griecci
Reg. Prof. Engineer

0 40 80 120 160 Ft.
0 10 20 40 Meter

APPROVED BY THE TOWN OF WEST NEWBURY PLANNING BOARD

DATE _____
FILED _____
HEARING _____

I, _____, CLERK OF THE TOWN OF WEST NEWBURY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SUCH NOTICE.

TOWN CLERK

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF MASSACHUSETTS.
Peter D. Goodwin
REG. PROF. LAND SURVEYOR

NOTES:

1. REMAINING AREA SHOWN IS FROM LAND COURT PLAN #33173A.
2. BUILDINGS ON REMAINING AREA AND WITHIN 50' OF LOCUS FROM GIS.

REFERENCE PLANS:

PLANS ON FILE AT THE ESSEX COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT.

- 1.) PLAN BOOK 173 PLAN 64
- 2.) PLAN BOOK 39282 PLAN 206
- 3.) PLAN BOOK 164 PLAN 207
- 4.) LAND COURT PLAN 33173-B
- 5.) LAND COURT PLAN 33173-A

ASSESSORS REFERENCE:

MAP R24 LOT 12
MAP R24 LOT 10A

ZONING DISTRICT: RB

3	PER PEER REVIEW COMMENTS	APR. 29, 2024
2	ADJUST REMAINING AREA FOR ZONING	FEB. 26, 2024
1	REVISIONS PER INITIAL PEER REVIEW	DEC.18, 2023

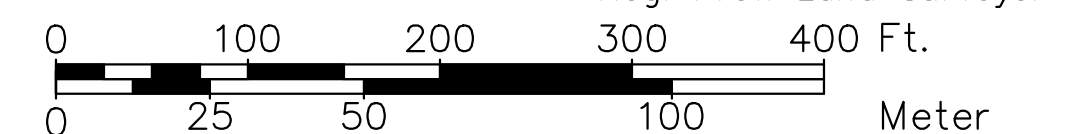
Revision No.	Revision Description	Date
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DEFINITIVE SUBDIVISION OVERVIEW PLAN RIVER ROAD WEST NEWBURY, MASS.

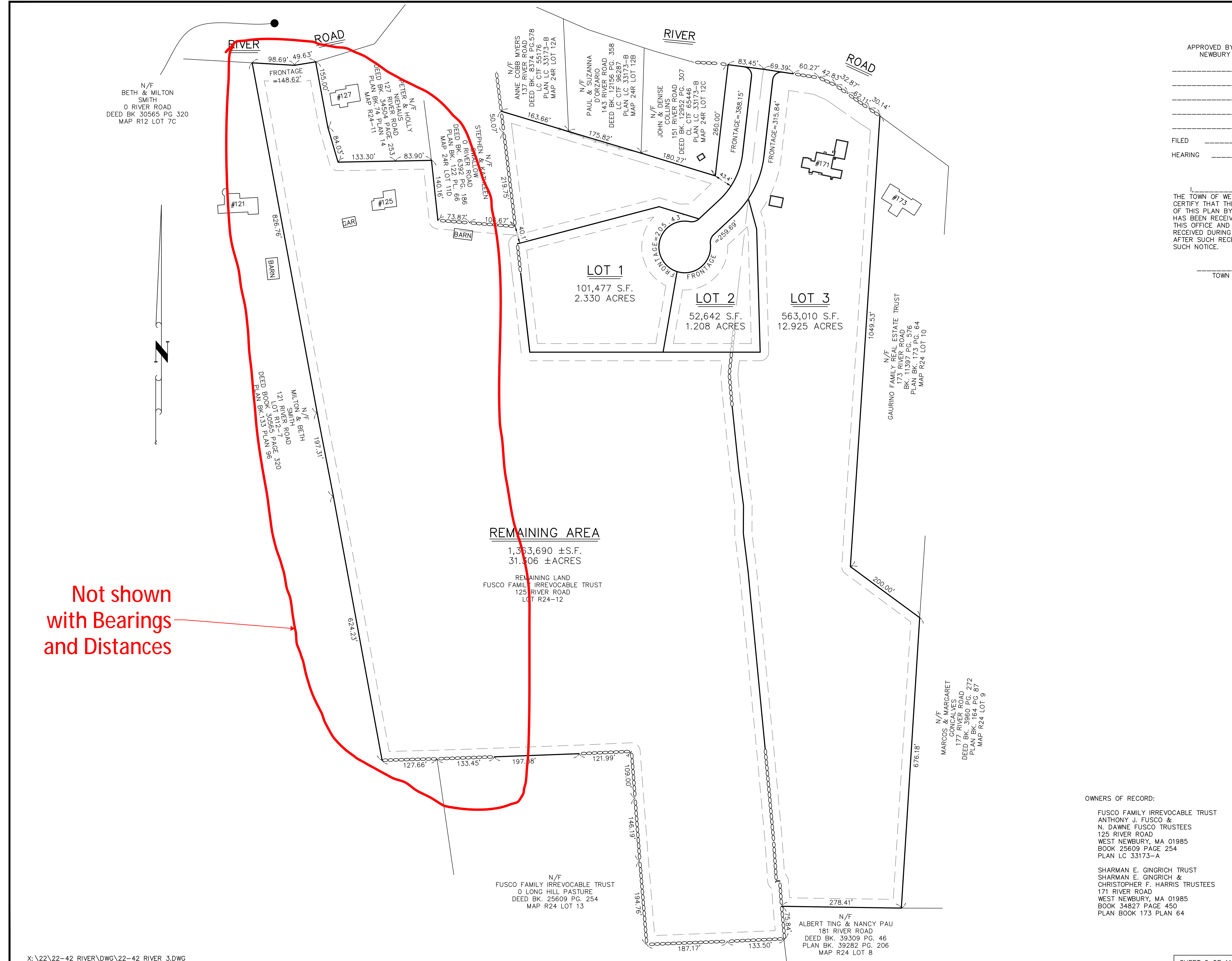
PREPARED FOR: MICHAEL FUSCO
DATE: JANUARY 19, 2023
SCALE: 1"=100'



1 East River Place
Methuen, Mass. 01844
Telephone: 978-687-3828
Peter D. Goodwin
Reg. Prof. Land Surveyor



Not shown with Bearings and Distances



APPROVED BY THE TOWN OF WEST NEWBURY PLANNING BOARD

DATE _____

FILED _____

HEARING _____

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_____ TOWN CLERK

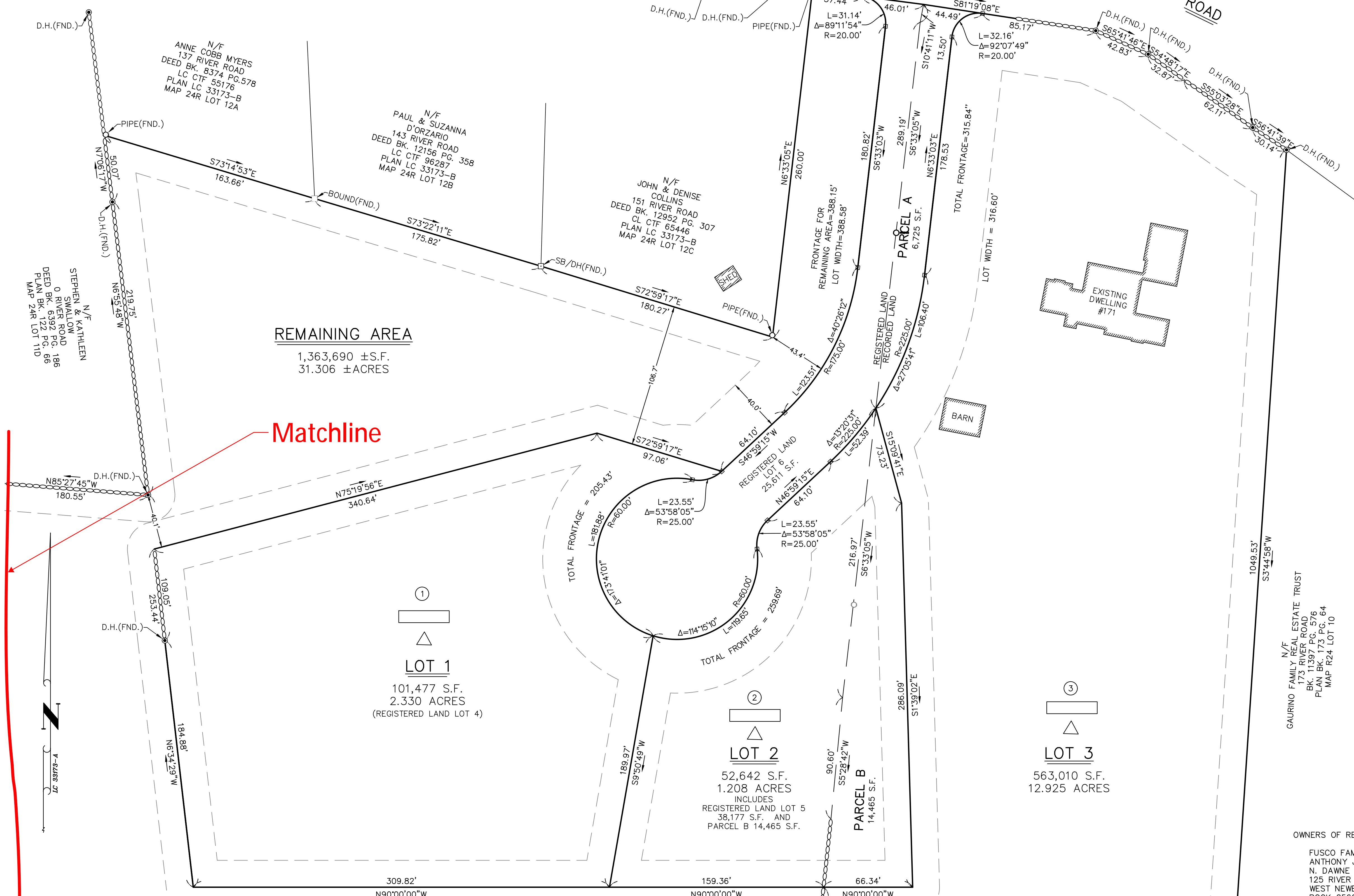
I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF MASSACHUSETTS.

Peter D. Goodwin
REG. PROF. LAND SURVEYOR

N/F JOHN & DENISE COLLINS
151 RIVER ROAD
DEED BK. 12952 PG. 307
MAP 24R LOT 12C

N/F SHARMAN E. GINGRICH TRUST
171 RIVER ROAD
WEST NEWBURY, MA 01985
BOOK 34827 PAGE 450
PLAN BOOK 173 PLAN 64
MAP R24-10A

DEPICTS STONE BOUND TO BE SET



ZONING SUMMARY TABLE - RB

	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3	REMAINING AREA
LOT AREA	40,000 S.F.	101,477 S.F.	52,642 S.F.	563,010 S.F.	1,363,690 S.F. ±
CBA	30,000 S.F. (75%)	93,052 S.F.	45,800 S.F.	130,000 S.F. ±	>30,000 S.F.
FRONTAGE	200'	205.43'	259.69'	315.84'	536.47'
FRONT YARD SETBACK	40'	>40.0'	>40.0'	>40.0'	>40'
SIDE YARD SETBACK	20'	>20.0'	>20.0'	>20.0'	>20'
REAR YARD SETBACK	20'	>20.0'	>20.0'	>20.0'	>20'
LOT WIDTH	180'	294.36'	271.63'	356.18'	388.58'
MAX COVERAGE	30%	4.9%	9.5%	3.0%	<30%
MAX. BLDG. COVERAGE	25%	2.4%	4.6%	0.9%	<25%
MAX. HEIGHT	35'	<35'	<35'	<35'	<35'

- REFERENCE PLANS:
PLANS ON FILE AT THE ESSEX COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT.
- 1.) PLAN BOOK 173 PLAN 64
 - 2.) PLAN BOOK 39282 PLAN 206
 - 3.) PLAN BOOK 164 PLAN 207
 - 4.) LAND COURT PLAN 33173-B
 - 5.) LAND COURT PLAN 33173-A
- ASSESSORS REFERENCE:
MAP R24 LOT 12
MAP R24 LOT 10A
ZONING DISTRICT: RB

Revision No.	Revision Description	Date
3	PER PEER REVIEW COMMENTS	APR. 29, 2024
2	ADJUST REMAINING AREA FOR ZONING	FEB. 26, 2024
1	REVISIONS PER INITIAL PEER REVIEW	DEC. 18, 2023

N/F GAURINO FAMILY REAL ESTATE TRUST
173 RIVER ROAD
BK. 11397 PG. 576
PLAN BK. 173 PG. 64
MAP R24 LOT 10

OWNERS OF RECORD:
FUSCO FAMILY IRREVOCABLE TRUST
ANTHONY J. FUSCO & N. DAWNE FUSCO TRUSTEES
125 RIVER ROAD
WEST NEWBURY, MA 01985
BOOK 25609 PAGE 254
PLAN LC 33173-A
SHARMAN E. GINGRICH TRUST
SHARMAN E. GINGRICH & CHRISTOPHER F. HARRIS TRUSTEES
171 RIVER ROAD
WEST NEWBURY, MA 01985
BOOK 34827 PAGE 450
PLAN BOOK 173 PLAN 64

DEFINITIVE SUBDIVISION PLAN
LOTTING SHEET 1 OF 3
EAGLE NEST
WEST NEWBURY, MASS.

PREPARED FOR: MICHAEL FUSCO
DATE: NOVEMBER 20, 2023
SCALE: 1" = 40'

andover consultants inc.
1 East River Place
Methuen, Mass. 01844
Telephone: 978-687-3828

Peter D. Goodwin
Reg. Prof. Land Surveyor
No. 48133

0 40 80 120 160 Ft.
0 10 20 40 Meter

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF MASSACHUSETTS.
Peter D. Goodwin
REG. PROF. LAND SURVEYOR



SHEET 2
MATCH LINE

REMAINING AREA
1,363,690 ±S.F.
31.306 ±ACRES
REMAINING LAND
FUSCO FAMILY IRREVOCABLE TRUST
125 RIVER ROAD
LOT R24-12

LOT 3
563,010 S.F.
12.925 ACRES

N/E
GAURINO FAMILY REAL ESTATE TRUST
173 RIVER ROAD
BK. 11397 PG. 576
PLAN BK. 173 PG. 64
MAP R24 LOT 10

N/E
MARCOS & MARGARET
GONCALVES
177 RIVER ROAD
DEED BK. 3960 PG. 272
PLAN BK. 164 PG. 87
MAP R24 LOT 9

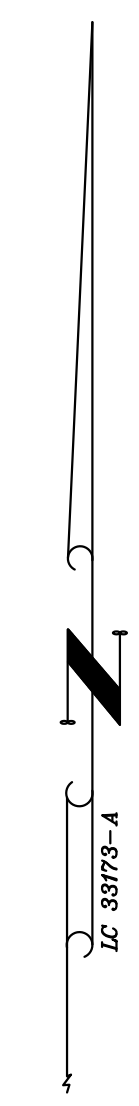
APPROVED BY THE TOWN OF WEST
NEWBURY PLANNING BOARD

DATE

FILED
HEARING _____

I, _____ CLERK OF
THE TOWN OF WEST NEWBURY, HEREBY
CERTIFY THAT THE NOTICE OF APPROVAL
OF THIS PLAN BY THE PLANNING BOARD
HAS BEEN RECEIVED AND RECORDED AT
THIS OFFICE AND NO APPEAL WAS
RECEIVED DURING THE TWENTY DAYS NEXT
AFTER SUCH RECEIPT AND RECORDING OF
SUCH NOTICE.

TOWN CLERK



MATCH LINE
SHEET 4

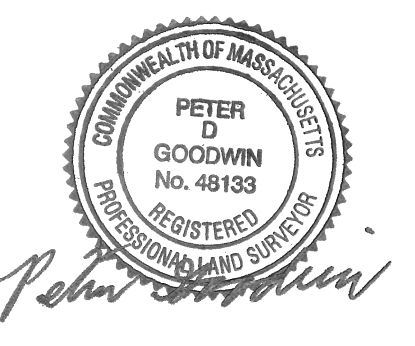
Revision No.	Revision Description	Date
3	PER PEER REVIEW COMMENTS	APR. 29, 2024
1	REVISIONS PER INITIAL PEER REVIEW	DEC.18, 2023

**DEFINITIVE SUBDIVISION PLAN
LOTTING SHEET 2 OF 3
EAGLE NEST
WEST NEWBURY, MASS.**

PREPARED FOR: MICHAEL FUSCO
DATE: NOVEMBER 20, 2023
SCALE: 1"=40'



1 East River Place
Methuen, Mass. 01844
Telephone: 978-687-3828
Peter D. Goodwin
Reg. Prof. Land Surveyor



I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF MASSACHUSETTS.
Peter D. Goodwin
REG. PROF. LAND SURVEYOR

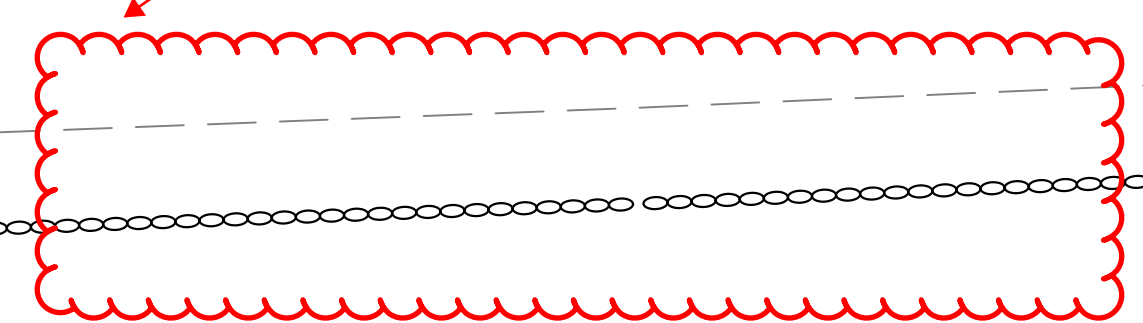
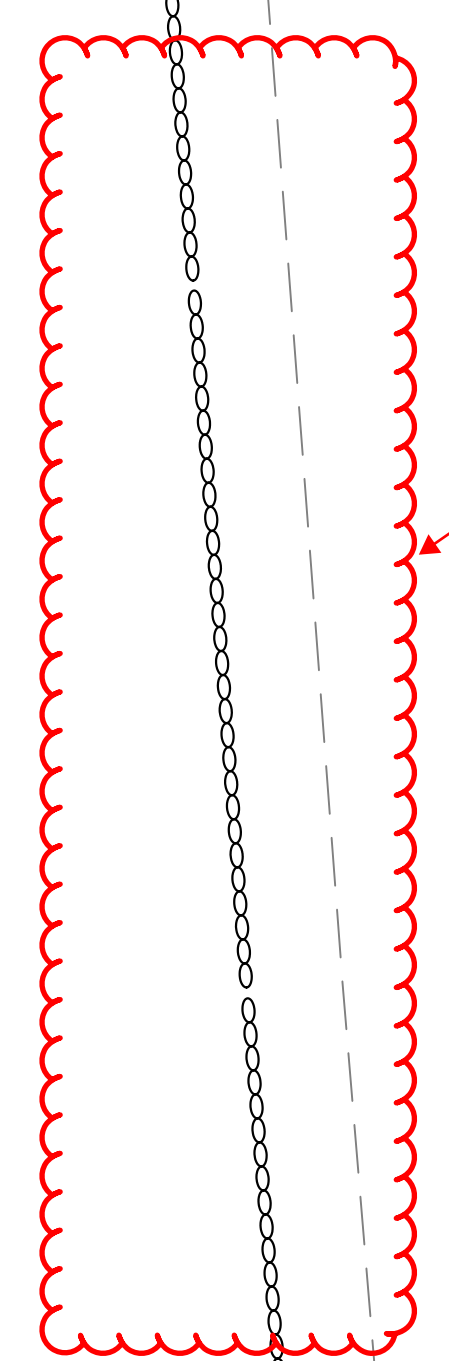
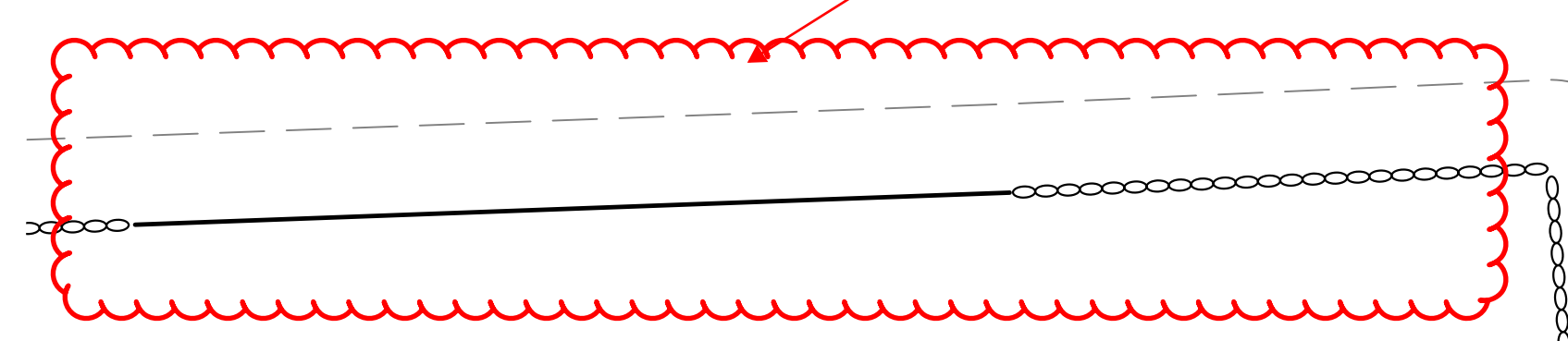
SHEET 2
MATCH LINE

REMAINING AREA
1,363,690 ±S.F.
31.306 ±ACRES
REMAINING LAND
FUSCO FAMILY IRREVOCABLE TRUST
125 RIVER ROAD
MAP R24 LOT 12

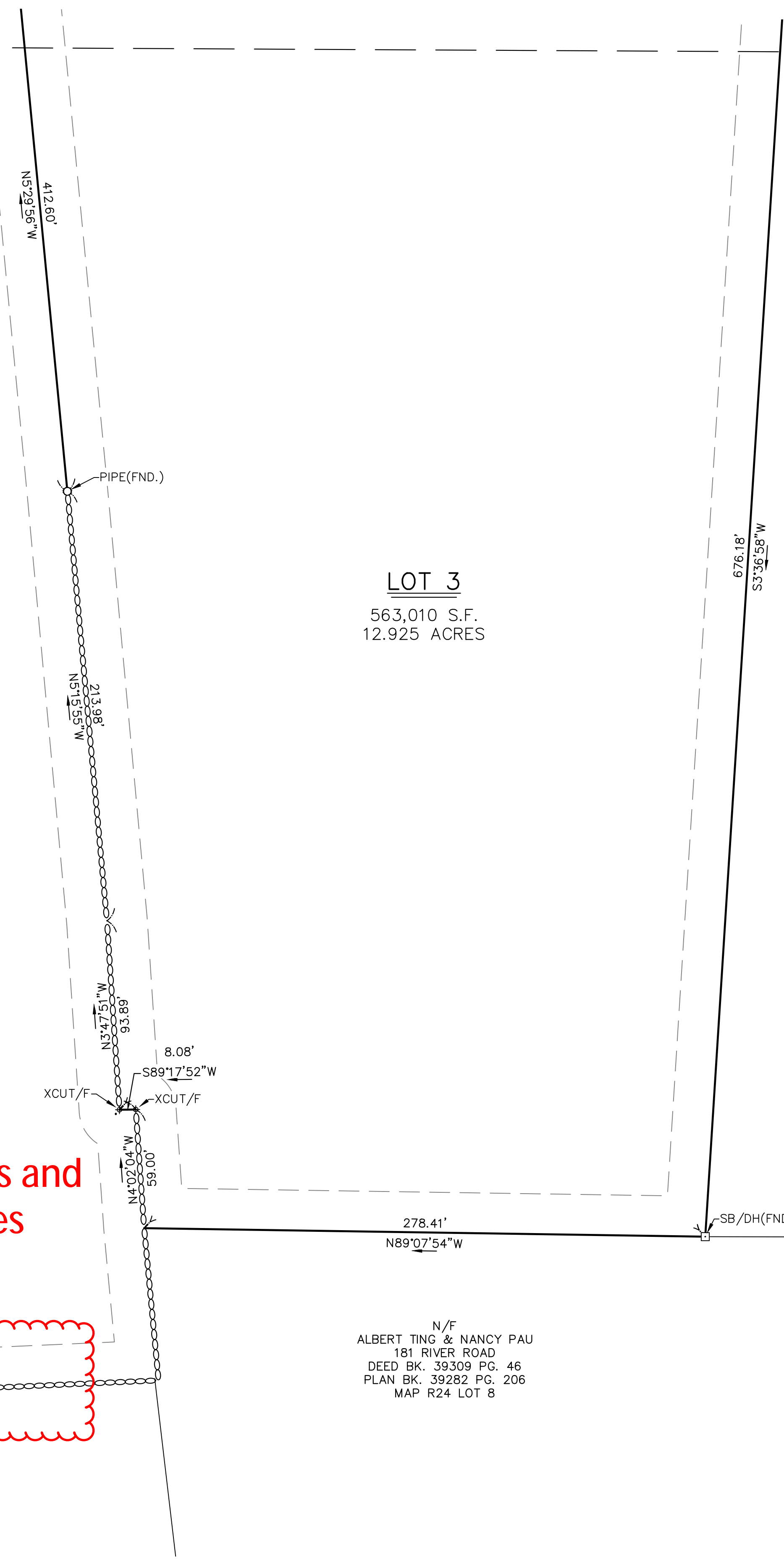
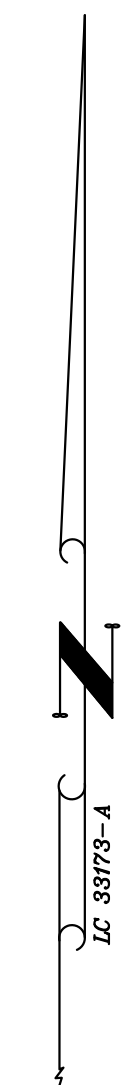
Bearings and distances

Bearings and distances

Bearings and distances



N/F
FUSCO FAMILY IRREVOCABLE TRUST
0 LONG HILL PASTURE
DEED BK. 25609 PG. 254
MAP R24 LOT 13



LOT 3
563,010 S.F.
12.925 ACRES

N/F
ALBERT TING & NANCY PAU
181 RIVER ROAD
DEED BK. 39309 PG. 46
PLAN BK. 39282 PG. 206
MAP R24 LOT 8

N/F
FUSCO FAMILY IRREVOCABLE TRUST
0 LONG HILL PASTURE
DEED BK. 25609 PG. 254
MAP R24 LOT 13

N/F
MARCOS & MARGARET
CONCALVES
17 RIVER ROAD
DEED BK. 39601 PG. 272
PLAN BK. 39601 PG. 87
MAP R24 LOT 9

APPROVED BY THE TOWN OF WEST
NEWBURY PLANNING BOARD

DATE _____
FILED _____
HEARING _____

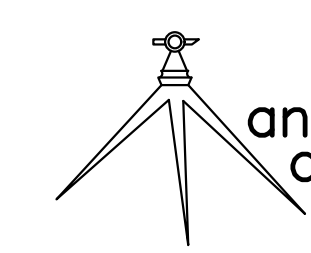
CLERK OF
THE TOWN OF WEST NEWBURY, HEREBY
CERTIFY THAT THE NOTICE OF APPROVAL
OF THIS PLAN BY THE PLANNING BOARD
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SUCH NOTICE.

TOWN CLERK

Revision No.	Revision Description	Date
3	PER PEER REVIEW COMMENTS	APR. 29, 2024
1	REVISIONS PER INITIAL PEER REVIEW	DEC.18, 2023

**DEFINITIVE SUBDIVISION PLAN
LOTTING SHEET 3 OF 3
EAGLE NEST
WEST NEWBURY, MASS.**

PREPARED FOR: MICHAEL FUSCO
DATE: NOVEMBER 20, 2023
SCALE: 1" = 40'



**andover
consultants
inc.**

1 East River Place
Methuen, Mass. 01844
Telephone: 978-687-3828



Peter D. Goodwin
Peter D. Goodwin
Reg. Prof. Land Surveyor



I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF MASSACHUSETTS.
Peter D. Goodwin
REG. PROF. LAND SURVEYOR

APPROVED BY THE TOWN OF WEST NEWBURY PLANNING BOARD

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TOWN CLERK

NOTE:
1. THE APPROXIMATE WETLAND RESOURCE AREAS ON 171 RIVER ROAD AS SHOWN ON THE PLANS ARE NOT CONFIRMED BY THE WEST NEWBURY CONSERVATION COMMISSION. THIS INFORMATION SHALL NOT BE USED AS DELINEATION OF THESE WETLAND RESOURCES FOR FUTURE PROJECTS.

- LEGEND:
- EXISTING CONTOUR
 - PAVEMENT EDGE
 - RETAINING WALL
 - RIVER BANK FLAG
 - CONIFEROUS TREE DBH
 - DECIDUOUS TREE DBH
 - TREELINE
 - U-POLE & GUY WIRE
 - WETLAND FLAG
 - WETLANDS

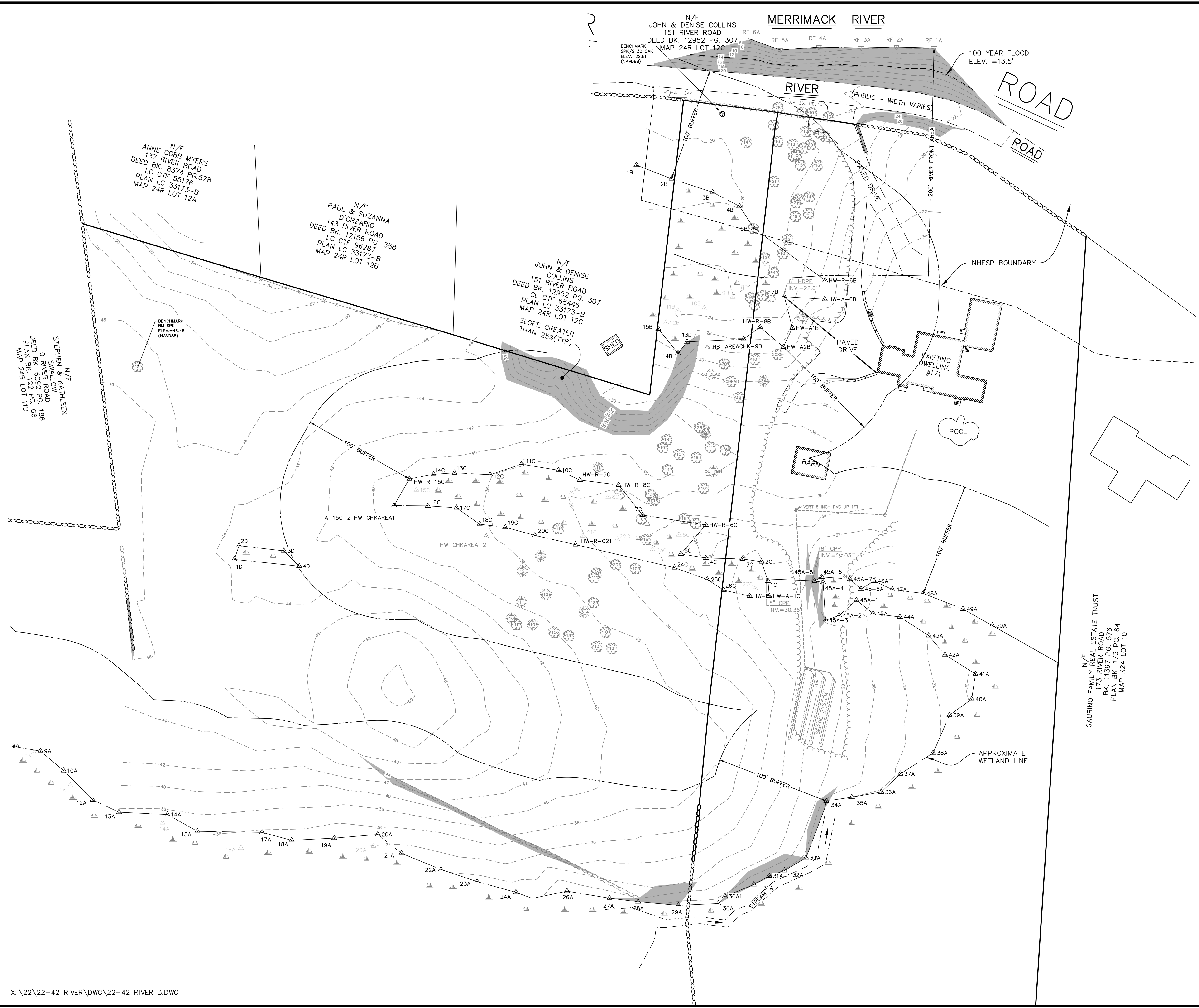
Revision No.	Revision Description	Date
3	PER PEER REVIEW COMMENTS	APR. 29, 2024
1	REVISIONS PER INITIAL PEER REVIEW	DEC.18, 2023

DEFINITIVE SUBDIVISION EXISTING CONDITIONS PLAN EAGLE NEST WEST NEWBURY, MASS.

PREPARED FOR: MICHAEL FUSCO
DATE: NOVEMBER 20, 2023
SCALE: 1" = 40'

andover consultants inc.
1 East River Place
Methuen, Mass. 01844
Telephone: 978-687-3828

Peter D. Goodwin
Peter D. Goodwin
Reg. Prof. Land Surveyor



APPROVED BY THE TOWN OF WEST NEWBURY PLANNING BOARD

DATE _____
FILED _____
HEARING _____

CLERK OF THE TOWN OF WEST NEWBURY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SUCH NOTICE.

TOWN CLERK

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF MASSACHUSETTS.

REG. PROF. ENGINEER

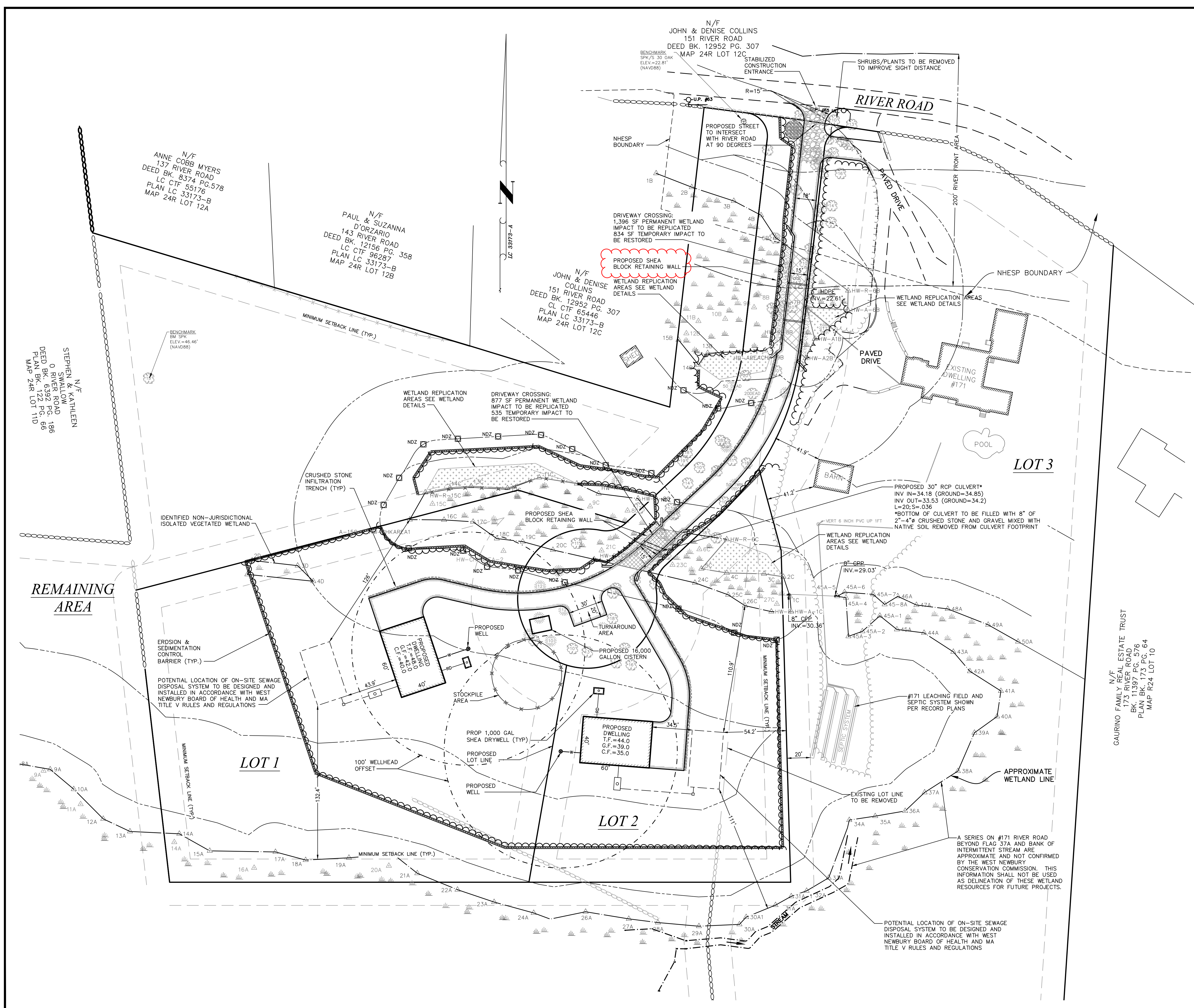
ASSESSORS/OWNERS OF RECORD:

PARCEL R24-12
FUSCO FAMILY IRREVOCABLE TRUST
ANTHONY J. FUSCO &
N. DAWNE FUSCO TRUSTEES
125 RIVER ROAD
WEST NEWBURY, MA 01985
BOOK 25609 PAGE 254
PLAN LC 33173-A

PARCEL R24-10A
SHARMAN E. GINGRICH TRUST
SHARMAN E. GINGRICH &
CHRISTOPHER F. HARRIS TRUSTEES
171 RIVER ROAD
WEST NEWBURY, MA 01985
BOOK 34827 PAGE 450
PLAN BOOK 173 PLAN 64

DEED REFERENCE:

ESRO BOOK 14031, PAGE 76
ESRO BOOK 34827, PAGE 450



REMAINING AREA

LOT 1

LOT 2

LOT 3

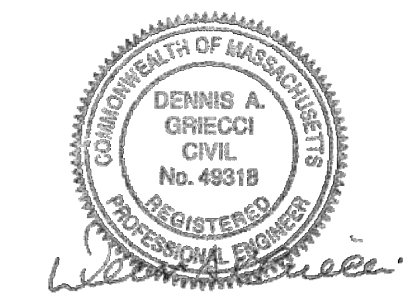
Revision No.	Revision Description	Date
2	PER PEER REVIEW COMMENTS	04/29/2024
1	REVISIONS PER INITIAL PEER REVIEW	12/18/2023

DEFINITIVE SUBDIVISION LAYOUT & MATERIALS PLAN EAGLE NEST WEST NEWBURY, MASS.

PREPARED FOR: MICHAEL FUSCO
DATE: NOVEMBER 20, 2023
SCALE: 1"=40'



1 East River Place
Methuen, Mass. 01844
Telephone: 978-687-3828



Dennis A. Griecci
Reg. Prof. Engineer



APPROVED BY THE TOWN OF WEST NEWBURY PLANNING BOARD

DATE

FILED
HEARING

CLERK OF THE TOWN OF WEST NEWBURY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SUCH NOTICE.

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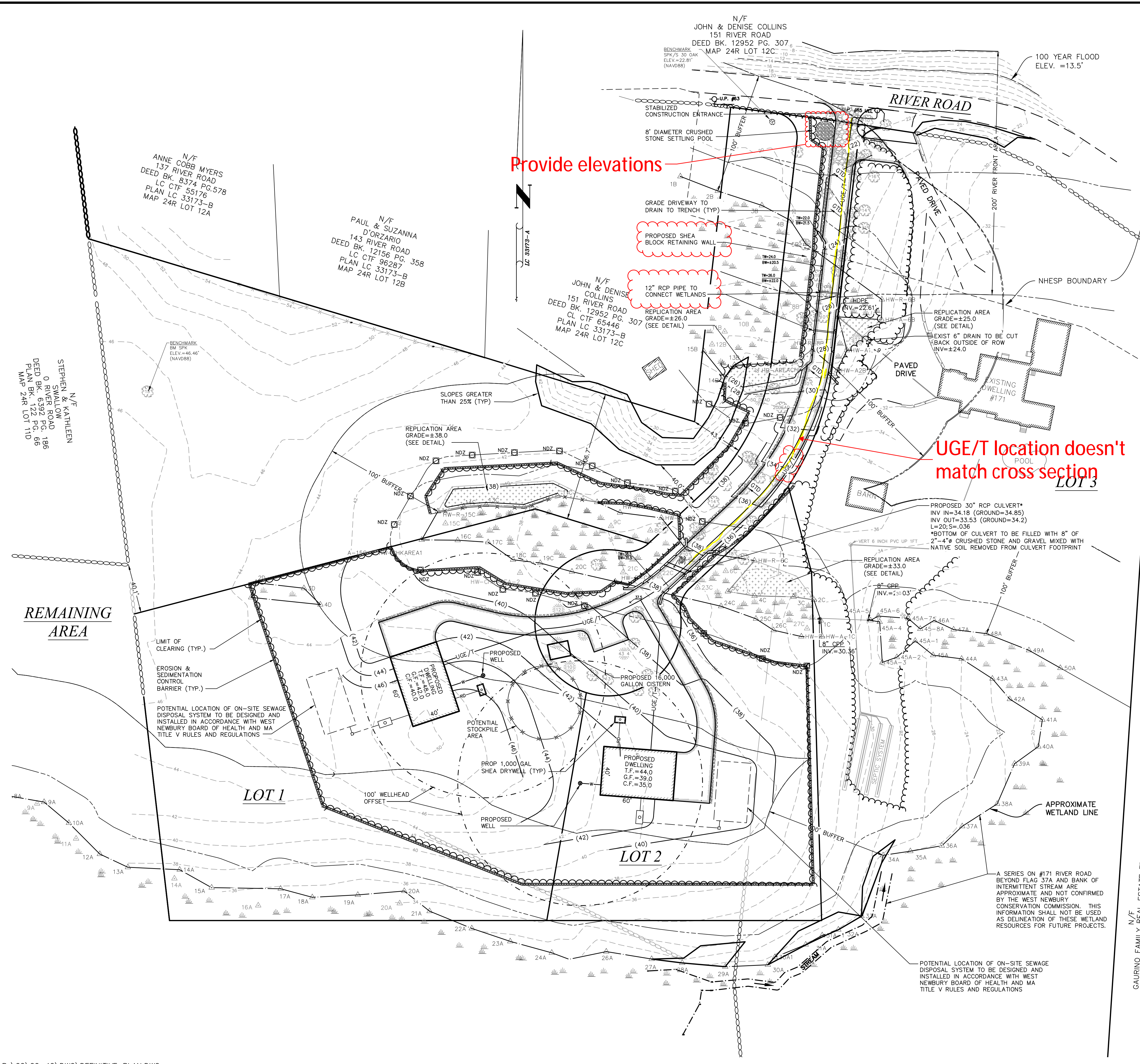
REG. PROF. ENGINEER

General Notes

- 1. ALL STORMWATER MANAGEMENT SYSTEMS SHOWN ON THIS PLAN (INCLUDING CULVERTS) SHALL BE OWNED AND MAINTAINED BY THE RESIDENTS OF THE SUBDIVISION...
2. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS...
3. ALL EARTHEN MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAWS...
4. CONTRACTOR SHALL NOTIFY "DIG-SAFE" AT LEAST 72 HOURS BEFORE EXCAVATING...
5. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE...
6. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER...
7. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS...
8. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM...
9. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR...
10. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES...
11. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES...
12. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES, AND REMOVE SEDIMENT THEREFROM...
13. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS...
14. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED...
15. ELEVATIONS ARE BASED ON NAVD 1988 DATUM...
16. ELEVATIONS ARE BASED ON NAVD 1988 DATUM...
17. NO COMPONENTS OF ANY PRIVATE IRRIGATION SYSTEM SHALL BE INSTALLED WITHIN THE STREET RIGHT-OF-WAY...
18. ELECTRICAL TRANSFORMERS SHALL BE LOCATED OUTSIDE THE TOWN'S RIGHT-OF-WAY...
19. DEWATERING ACTIVITIES SHALL USE TANKS, FILTER BAGS, OR OTHER PRACTICES TO REMOVE SEDIMENT BEFORE DISCHARGE...
20. TRASH, DEBRIS, AND SANITARY WASTES SHALL BE REMOVED FROM THE SITE ON A REGULAR BASIS...
21. STORMWATER MANAGEMENT FACILITIES TO BE USED AFTER CONSTRUCTION SHALL NOT BE USED AS BMPs DURING CONSTRUCTION...
22. DUST CONTROL SHALL BE USED DURING GRADING OPERATIONS...
23. SOIL TESTING SHALL BE DONE IN THE LOCATION OF PROPOSED ROOF DRYWELLS AND FINAL LOCATIONS, ELEVATIONS, AND OTHER APPLICABLE DESIGN INFORMATION OF THE DRYWELLS SHALL BE SUBMITTED TO THE PLANNING BOARD PRIOR TO INSTALLATION.

Provide elevations

UGE/T location doesn't match cross section



ASSESSORS/OWNERS OF RECORD:

PARCEL R24-12 FUSCO FAMILY IRREVOCABLE TRUST ANTHONY J. FUSCO & N. DANNEZ FUSCO TRUSTEES 125 RIVER ROAD WEST NEWBURY, MA 01985 BOOK 25609 PAGE 254 PLAN LC 33173-A
PARCEL R24-10A SHARMAN E. GINGRICH TRUST SHARMAN E. GINGRICH & CHRISTOPHER F. HARRIS TRUSTEES 171 RIVER ROAD WEST NEWBURY, MA 01985 BOOK 34827 PAGE 450 PLAN BOOK 173 PLAN 64

DEED REFERENCE:

ESRO BOOK 14031, PAGE 76 ESRO BOOK 34827, PAGE 450

Table with 3 columns: Revision No., Revision Description, Date. Contains two entries: 2 PER PEER REVIEW COMMENTS 04/29/2024 and 1 REVISIONS PER INITIAL PEER REVIEW 12/18/2023.

DEFINITIVE SUBDIVISION GRADING & UTILITIES PLAN EAGLE NEST WEST NEWBURY, MASS.

PREPARED FOR: MICHAEL FUSCO DATE: NOVEMBER 20, 2023 SCALE: 1"=40'

andover consultants inc. 1 East River Place Methuen, Mass. 01844 Telephone: 978-687-3828



Dennis A. Griecci Reg. Prof. Engineer



APPROVED BY THE TOWN OF WEST NEWBURY PLANNING BOARD

DATE _____
 FILED _____
 HEARING _____

CLERK OF THE TOWN OF WEST NEWBURY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SUCH NOTICE.

TOWN CLERK

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REG. PROF. ENGINEER

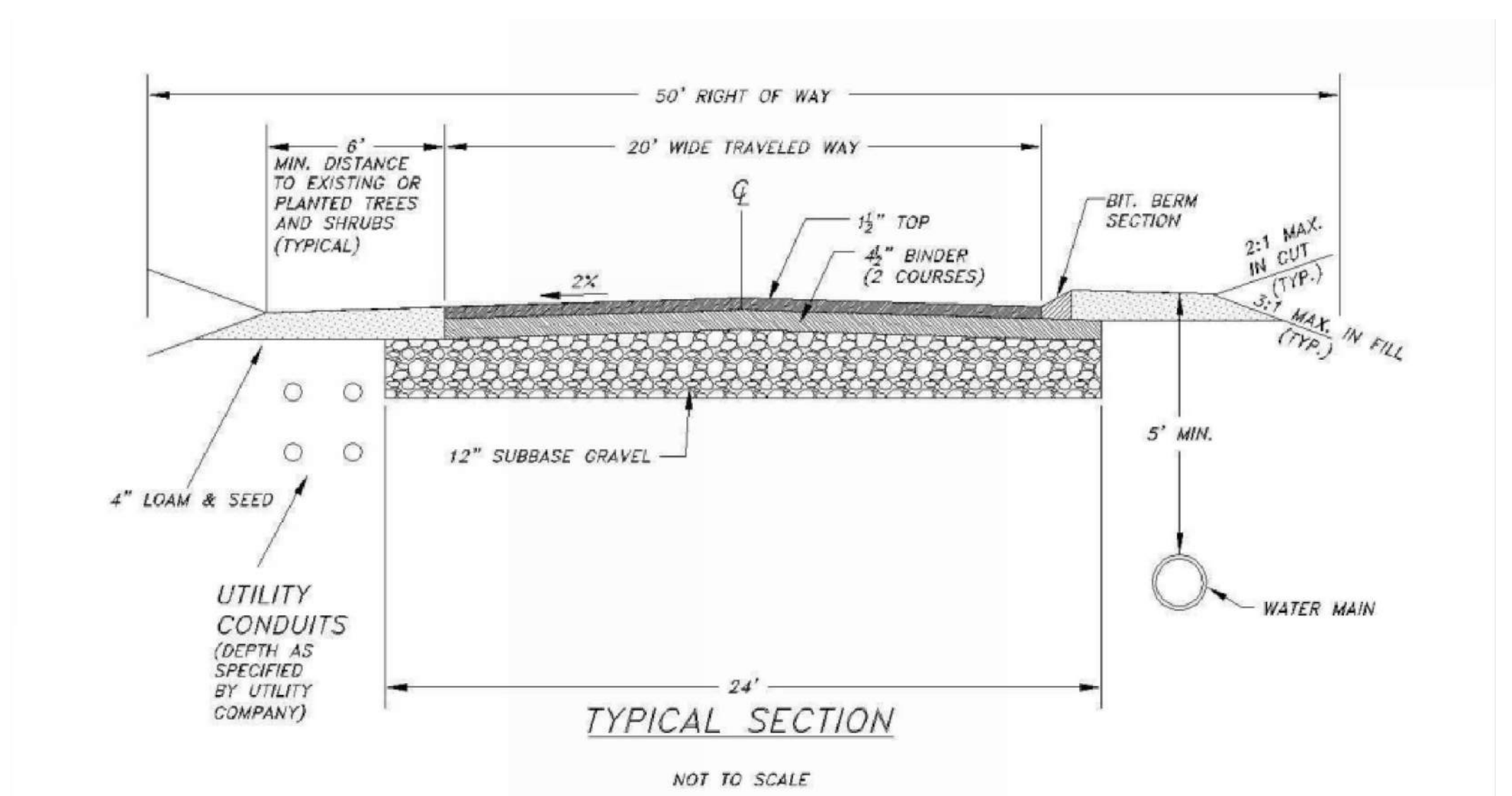
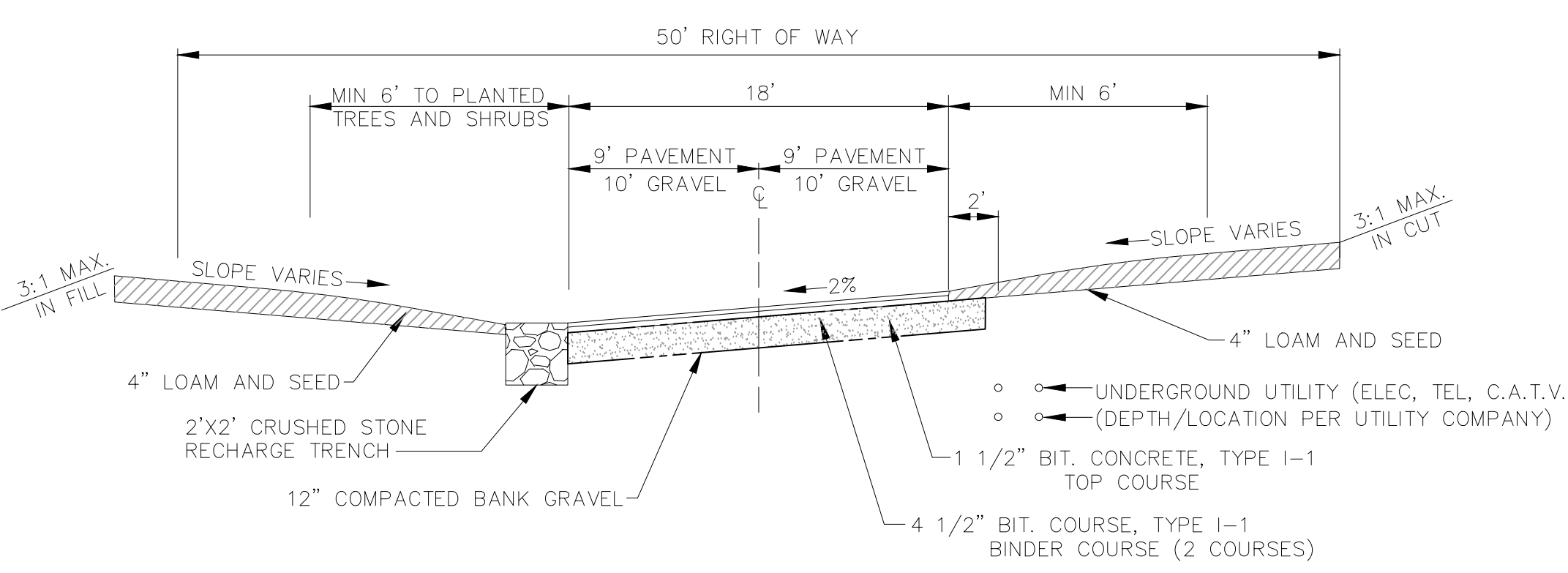
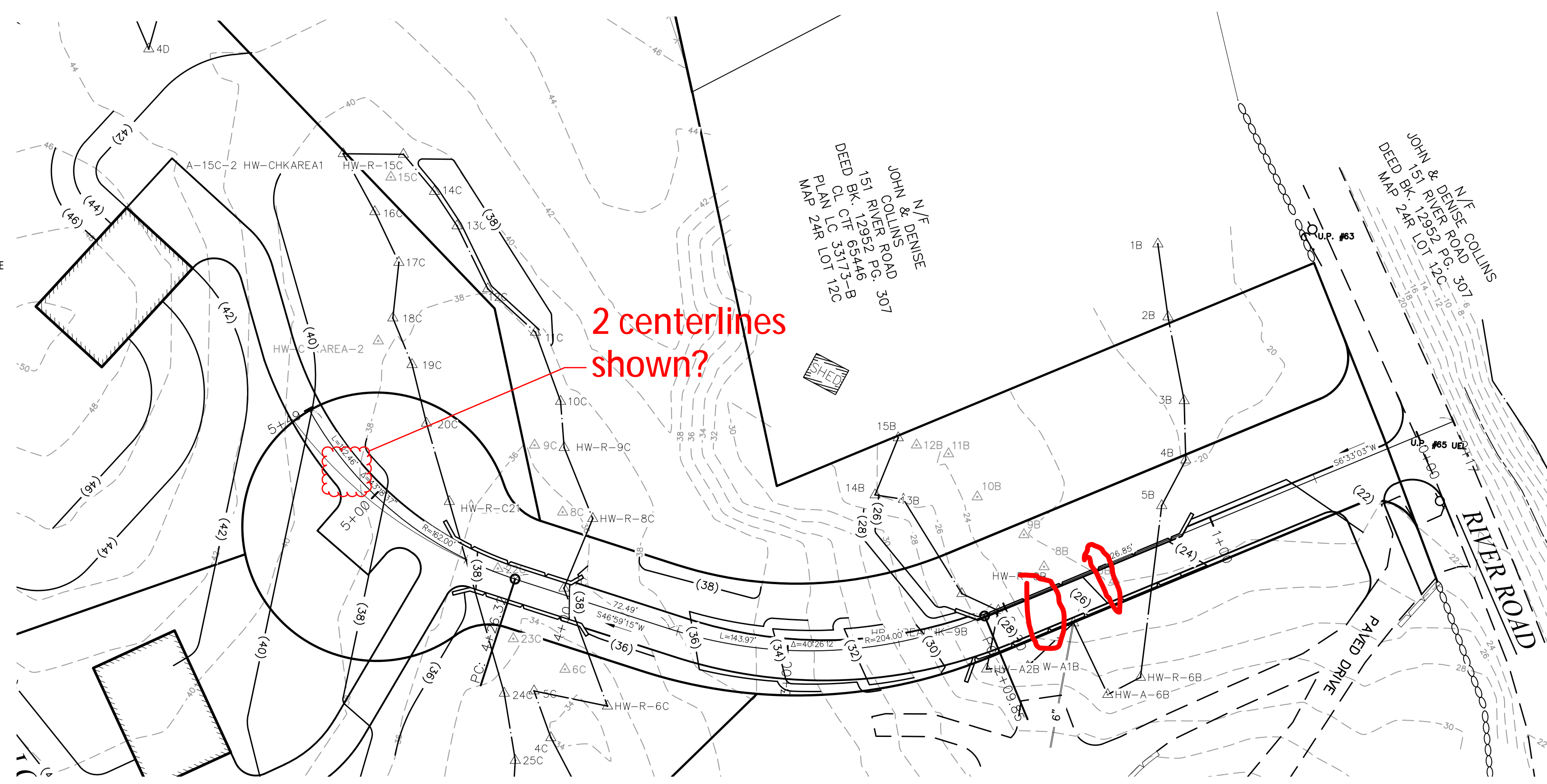
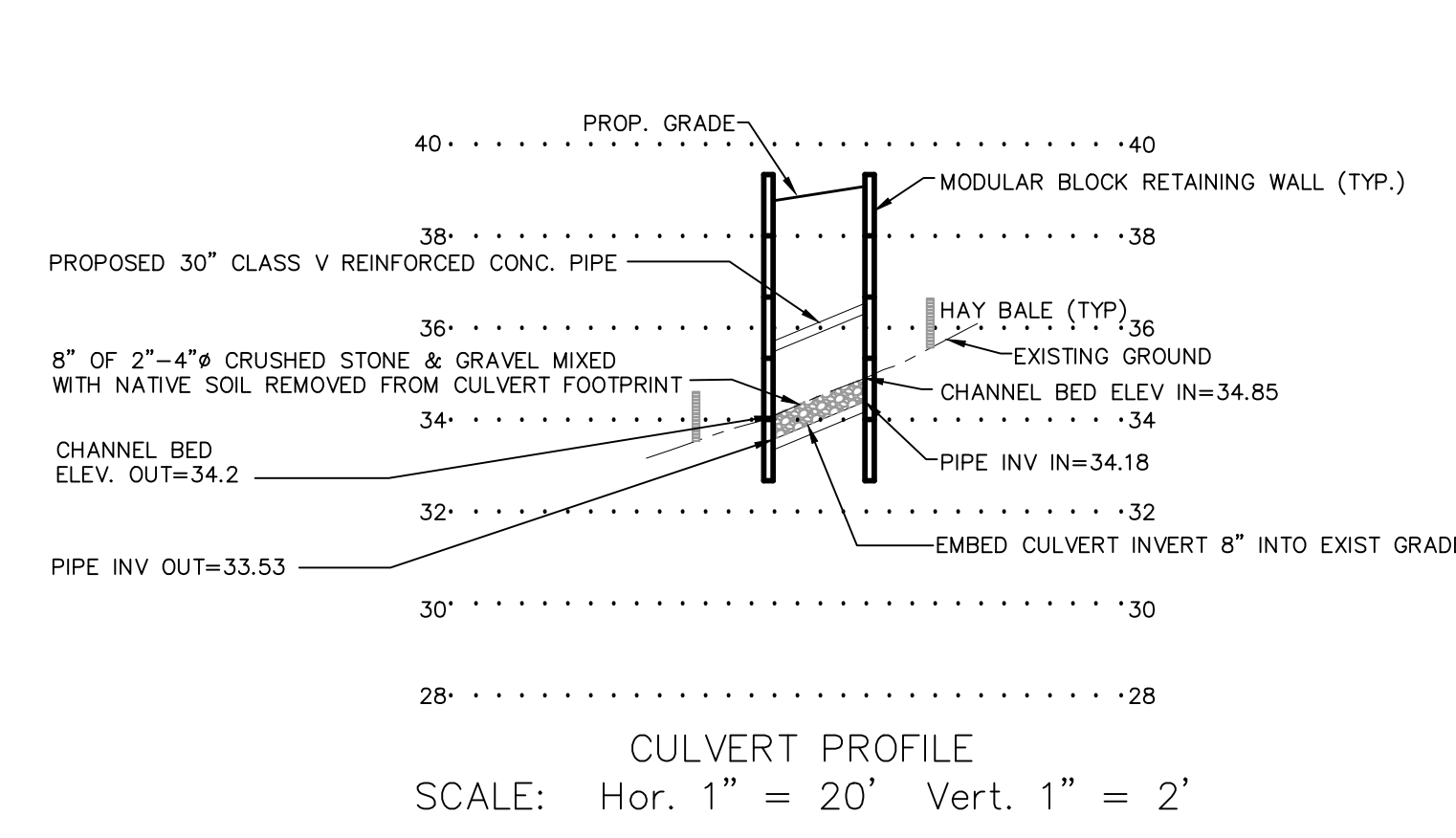
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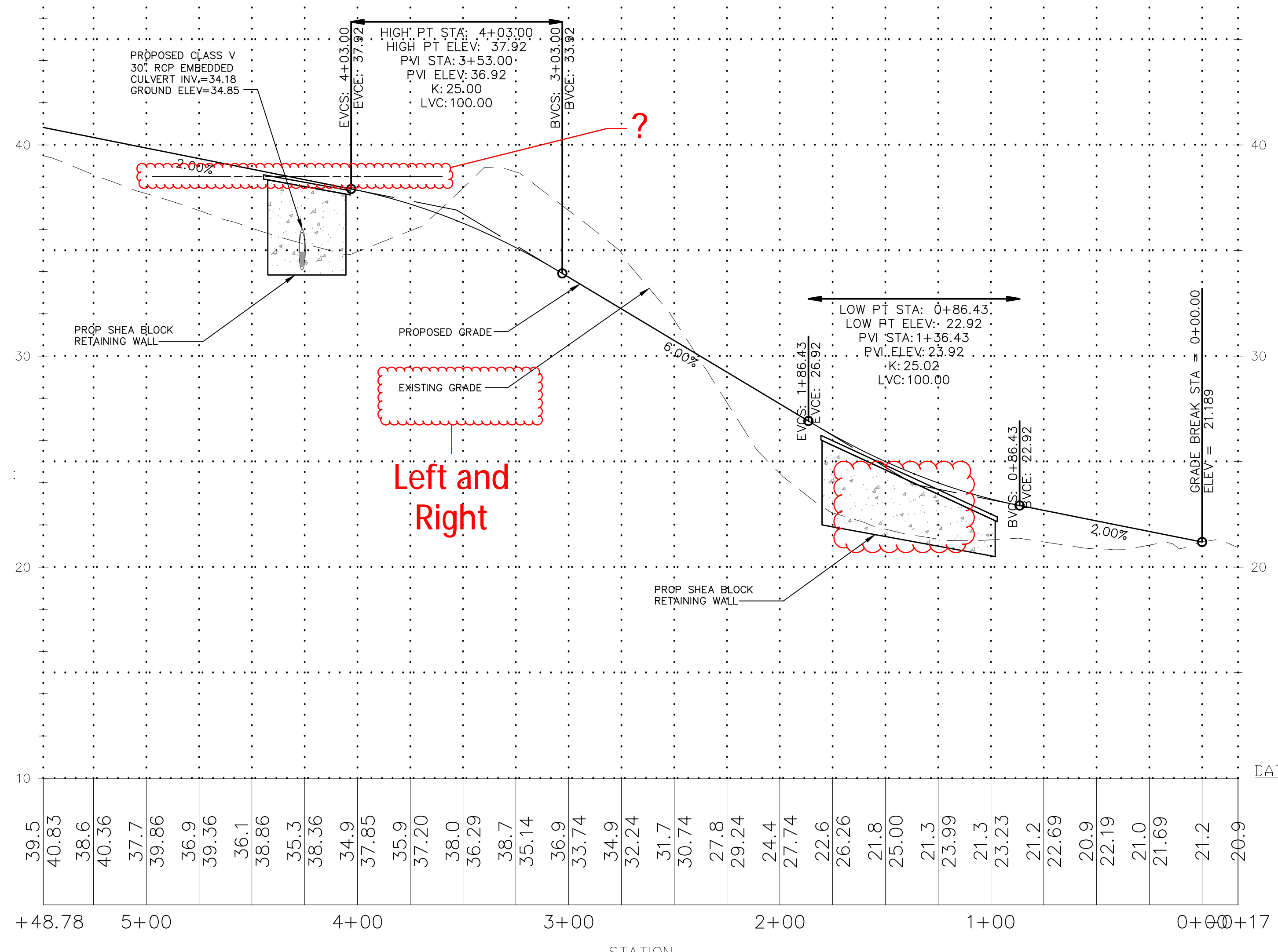
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 SHARMAN E. GINGRICH &
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 BOOK 34827 PAGE 450
 PLAN BOOK 173 PLAN 64

DEED REFERENCE:

ESRO BOOK 14031, PAGE 76
 ESRO BOOK 34827, PAGE 450



TOWN OF WEST NEWBURY
 CONSTRUCTION DETAILS
 2006
 MINOR LOCAL ACCESS ROAD



DATUM ELEV 10.000

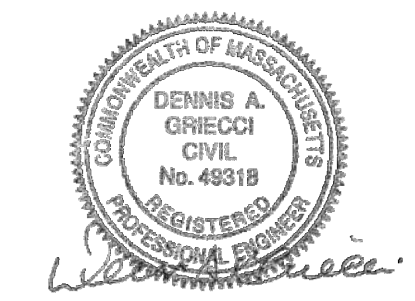
Revision No.	Revision Description	Date
2	PER PEER REVIEW COMMENTS	04/29/2024
1	REVISIONS PER INITIAL PEER REVIEW	12/18/2023

DEFINITIVE SUBDIVISION
 PLAN & PROFILE
 EAGLE NEST
 WEST NEWBURY, MASS.

PREPARED FOR: MICHAEL FUSCO
 DATE: NOVEMBER 20, 2023
 SCALE: 1" = 40'

andover consultants inc.

1 East River Place
 Methuen, Mass. 01844
 Telephone: 978-687-3828

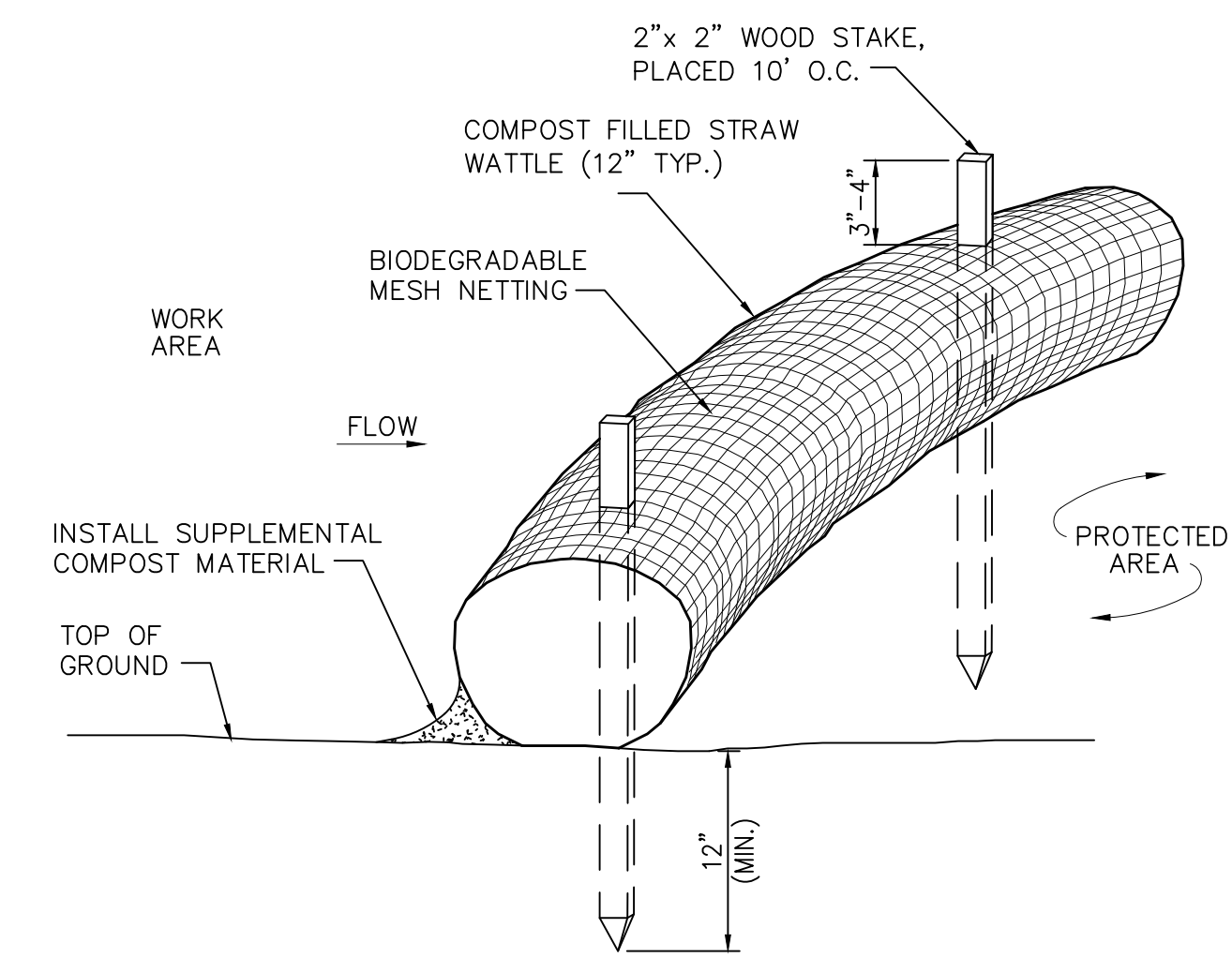


Dennis A. Grieci
 Reg. Prof. Engineer



APPROVED BY THE TOWN OF WEST NEWBURY PLANNING BOARD

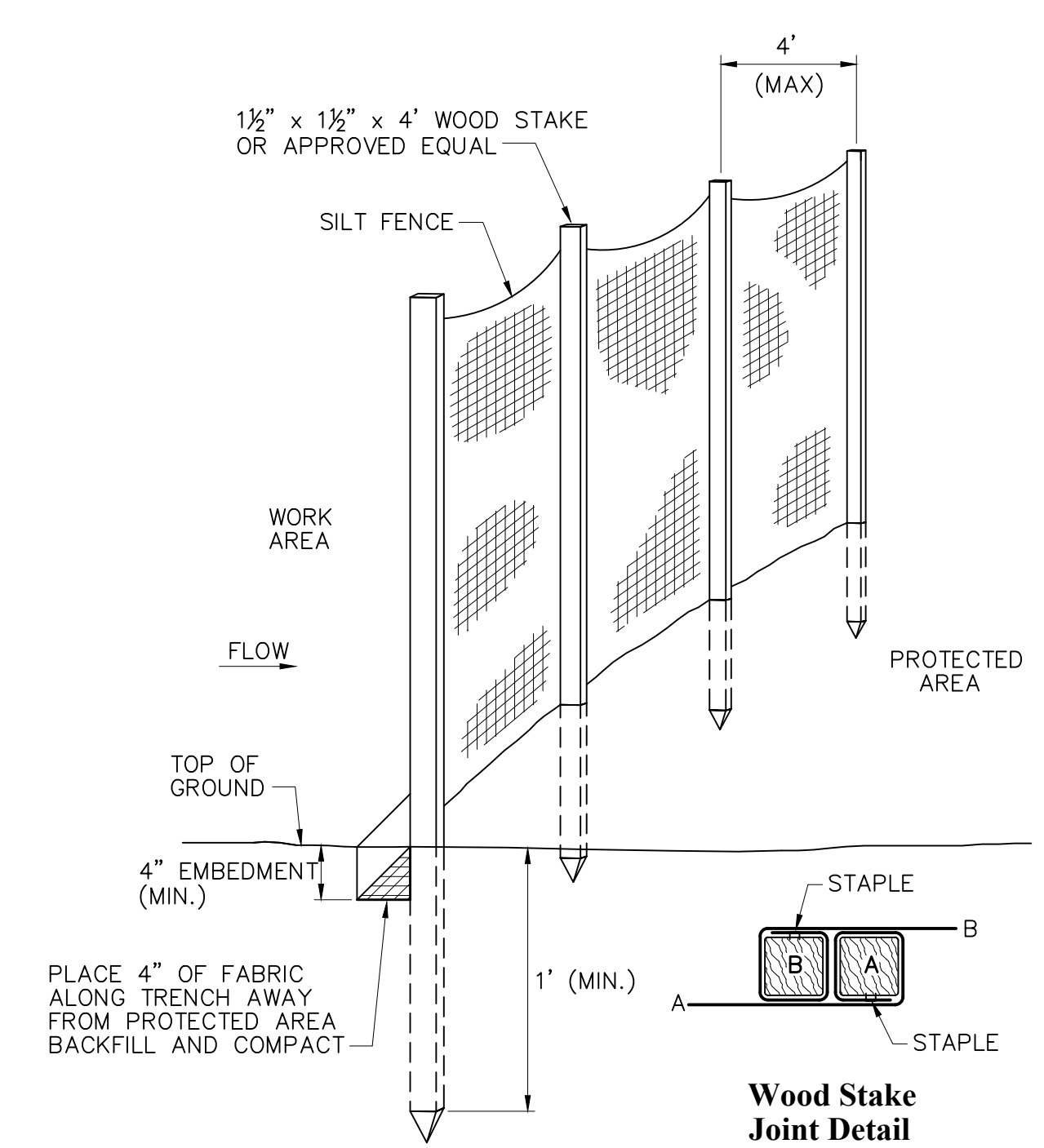
DATE _____
 FILED _____
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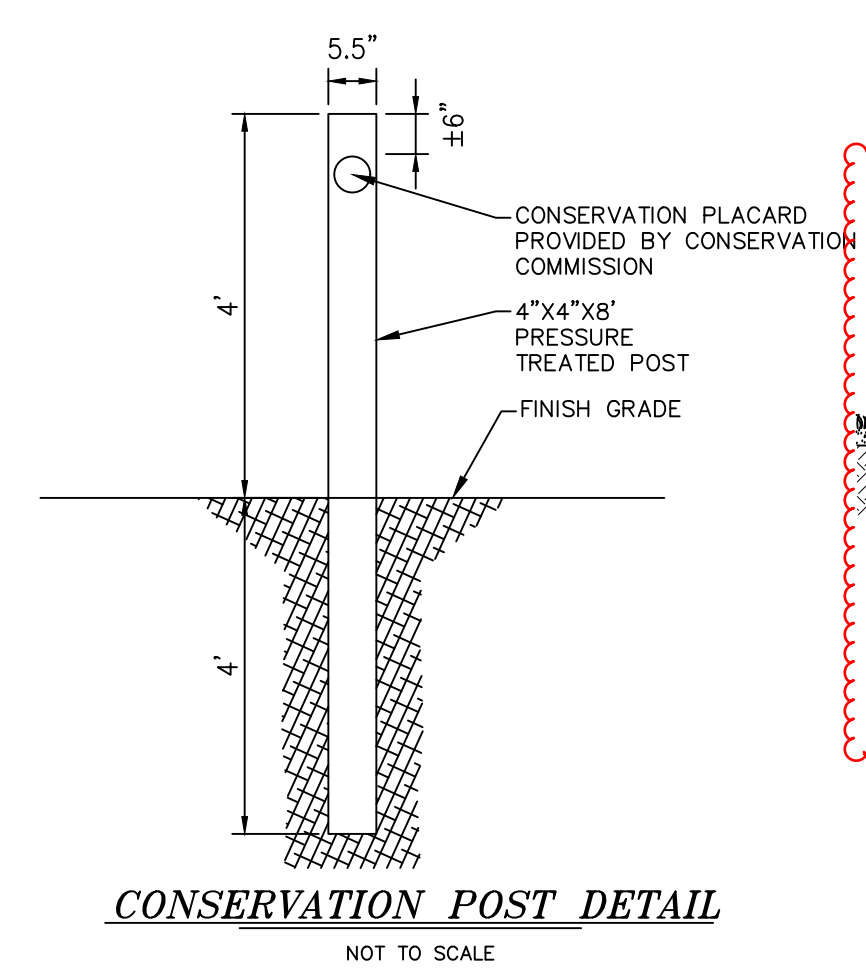
Notes:

1. STRAW WATTLE SHALL BE FILTREXX SILTSOX, OR APPROVED EQUAL.
2. STRAW WATTLE SHALL OVERLAP A MINIMUM OF 12 INCHES.
3. STRAW WATTLE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

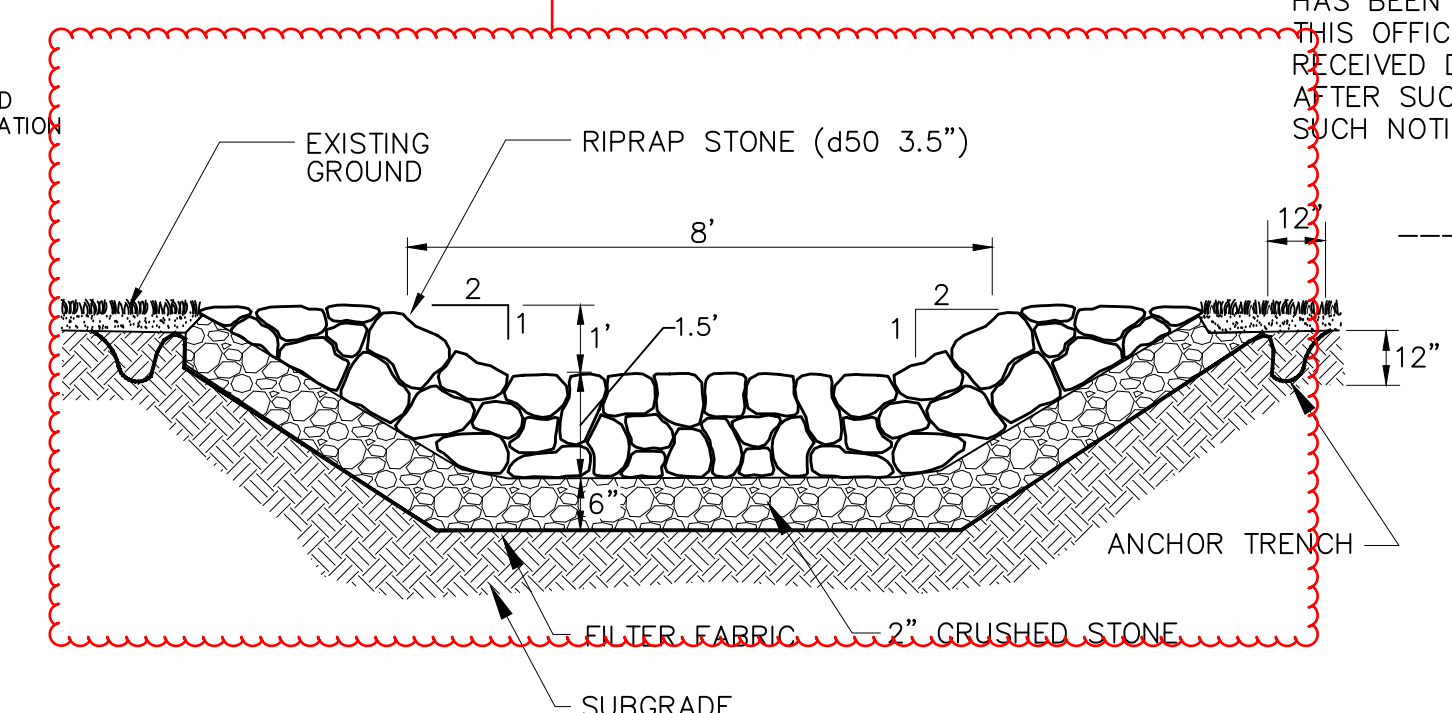
STRAW WATTLE - EROSION CONTROL BARRIER
 NOT TO SCALE



SILT FENCE BARRIER
 NOT TO SCALE



CONSERVATION POST DETAIL
 NOT TO SCALE



8' DIAMETER CRUSHED STONE SETTLING POOL
 NOT TO SCALE

Provide elevations

I, _____ CLERK OF THE TOWN OF WEST NEWBURY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SUCH NOTICE.

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REG. PROF. ENGINEER

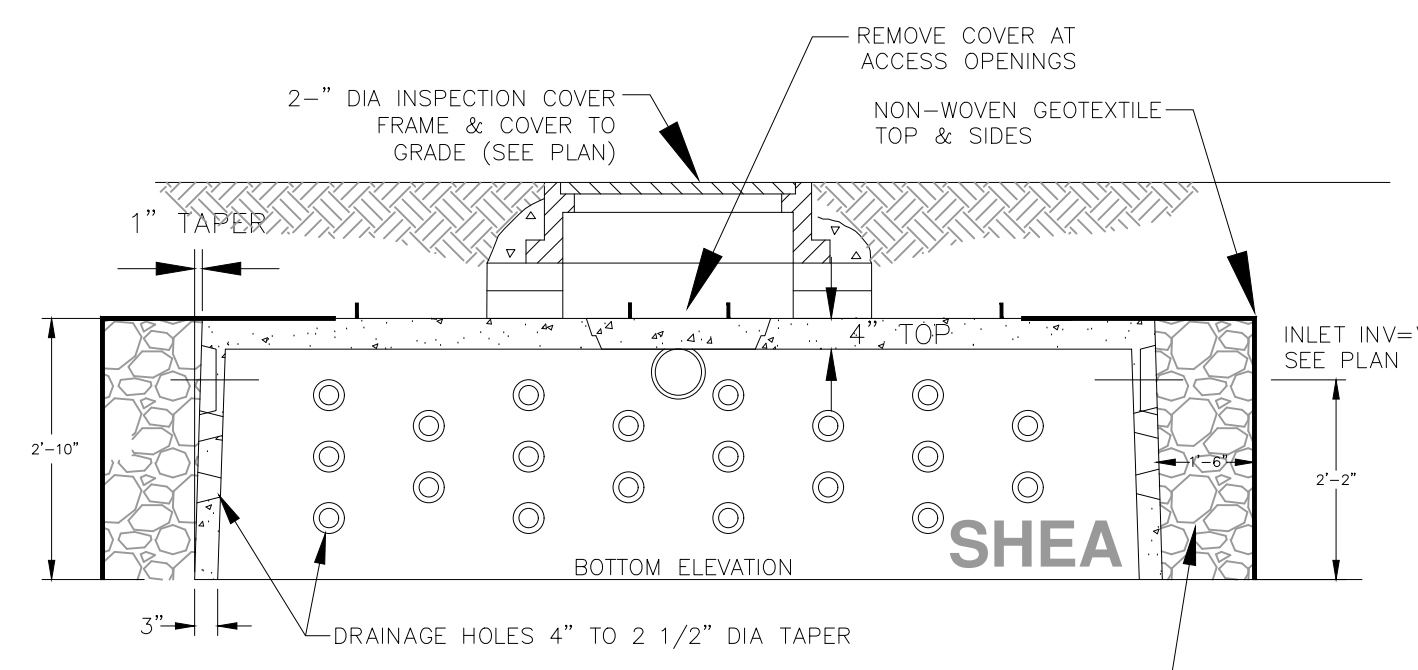
ASSESSORS/OWNERS OF RECORD:

PARCEL R24-12
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 ANTHONY J. FUSCO &
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 WEST NEWBURY, MA 01985
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 WEST NEWBURY, MA 01985
 BOOK 34827 PAGE 450
 PLAN BOOK 173 PLAN 64

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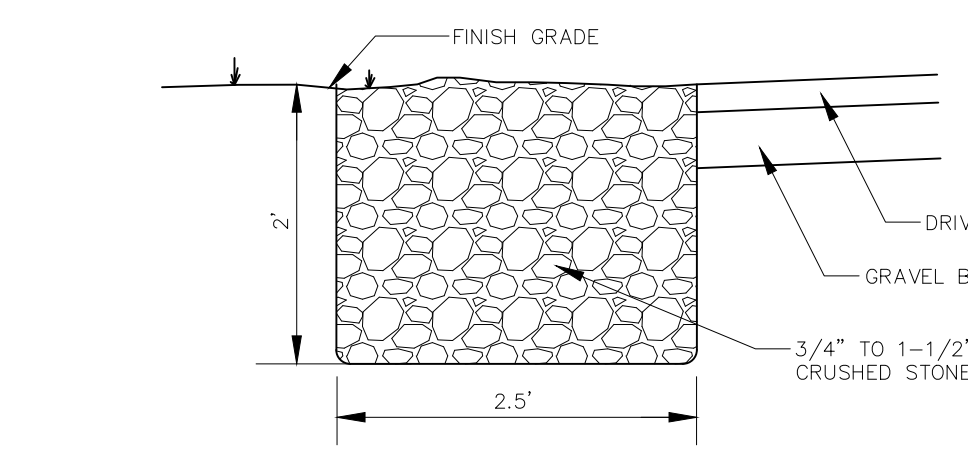
ESRO BOOK 14031, PAGE 76
 ESRO BOOK 34827, PAGE 450



DRYWELL SIZING CALCULATIONS:
 - ROOFTOP AREA PER HOUSE = 2,400 SF
 - TOTAL VOLUME OF STORAGE IN DRYWELL = 1,000 GALLONS (134 CF)
 - TOTAL VOLUME OF STORAGE IN SURROUNDING STONE = 65.2 CF
 - EACH DRYWELL AND SURROUNDING STONE PROVIDES STORAGE FOR 1" OF STORMWATER RUNOFF
 - PARENT SOIL IS CLASSIFIED AS HSG C/D WITH AN ESTIMATED INFILTRATION RATE OF 0.27 IN/HR.

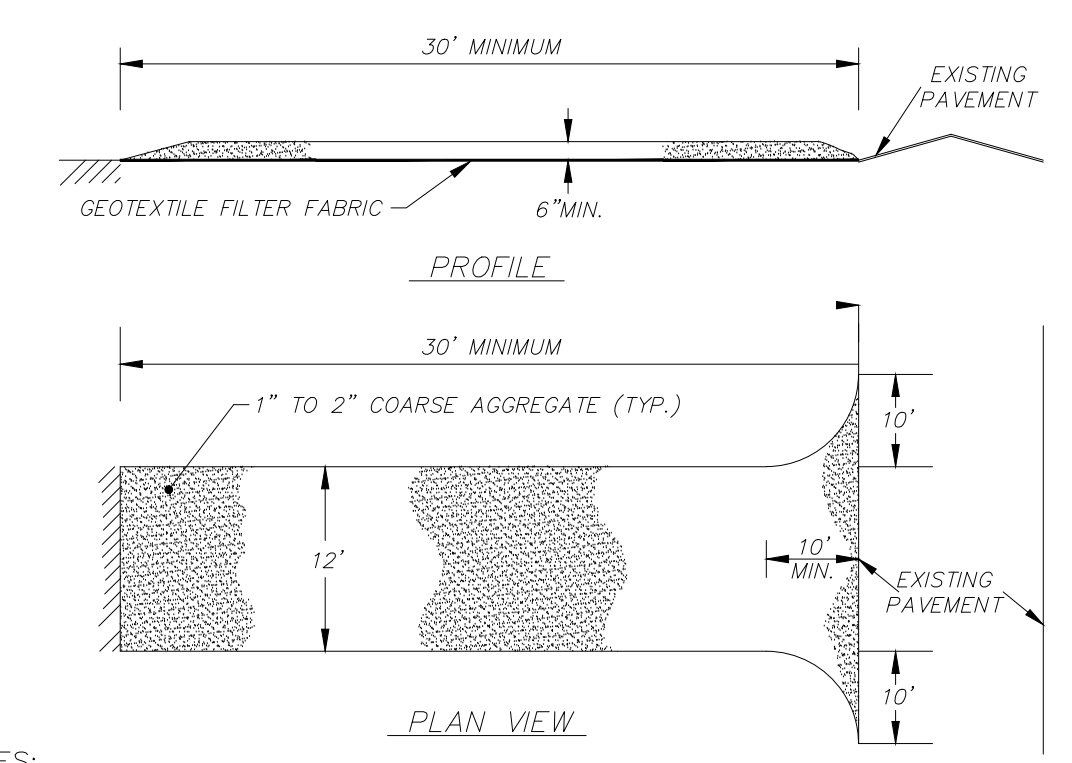
NOTE:
 SOIL TESTING SHALL BE DONE IN THE LOCATION OF PROPOSED ROOF DRYWELL AND FINAL LOCATIONS, ELEVATIONS, AND OTHER APPLICABLE DESIGN INFORMATION OF THE DRYWELLS SHALL BE SUBMITTED TO THE PLANNING BOARD PRIOR TO INSTALLATION.

SHEA PRECAST CONCRETE 1000 GALLON JUMBO DRYWELL
 NOT TO SCALE



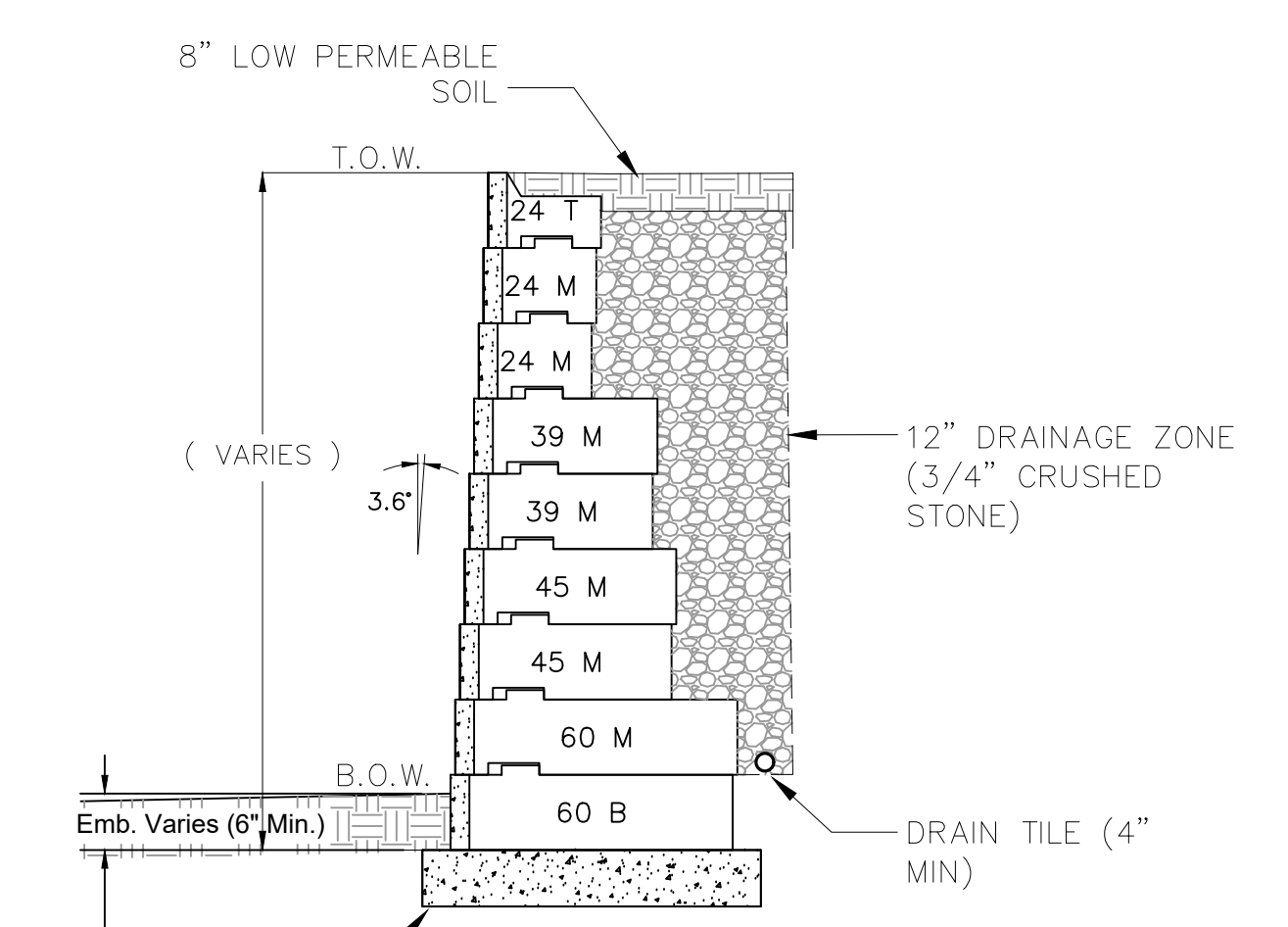
STONE TRENCH SIZING CALCULATIONS:
 - TOTAL DRIVEWAY/ROADWAY AREA = 17,100 SF
 - TOTAL VOLUME OF STORAGE = (735 FEET)(2 FEET)(2.5 FEET)(40% VOIDS) = 1,470 CF
 - TRENCH PROVIDES STORAGE FOR 1.03" OF STORMWATER RUNOFF
 - PARENT SOIL IS CLASSIFIED AS HSG C/D WITH AN ESTIMATED INFILTRATION RATE OF 0.27 IN/HR.

CRUSHED STONE INFILTRATION TRENCH
 NOT TO SCALE



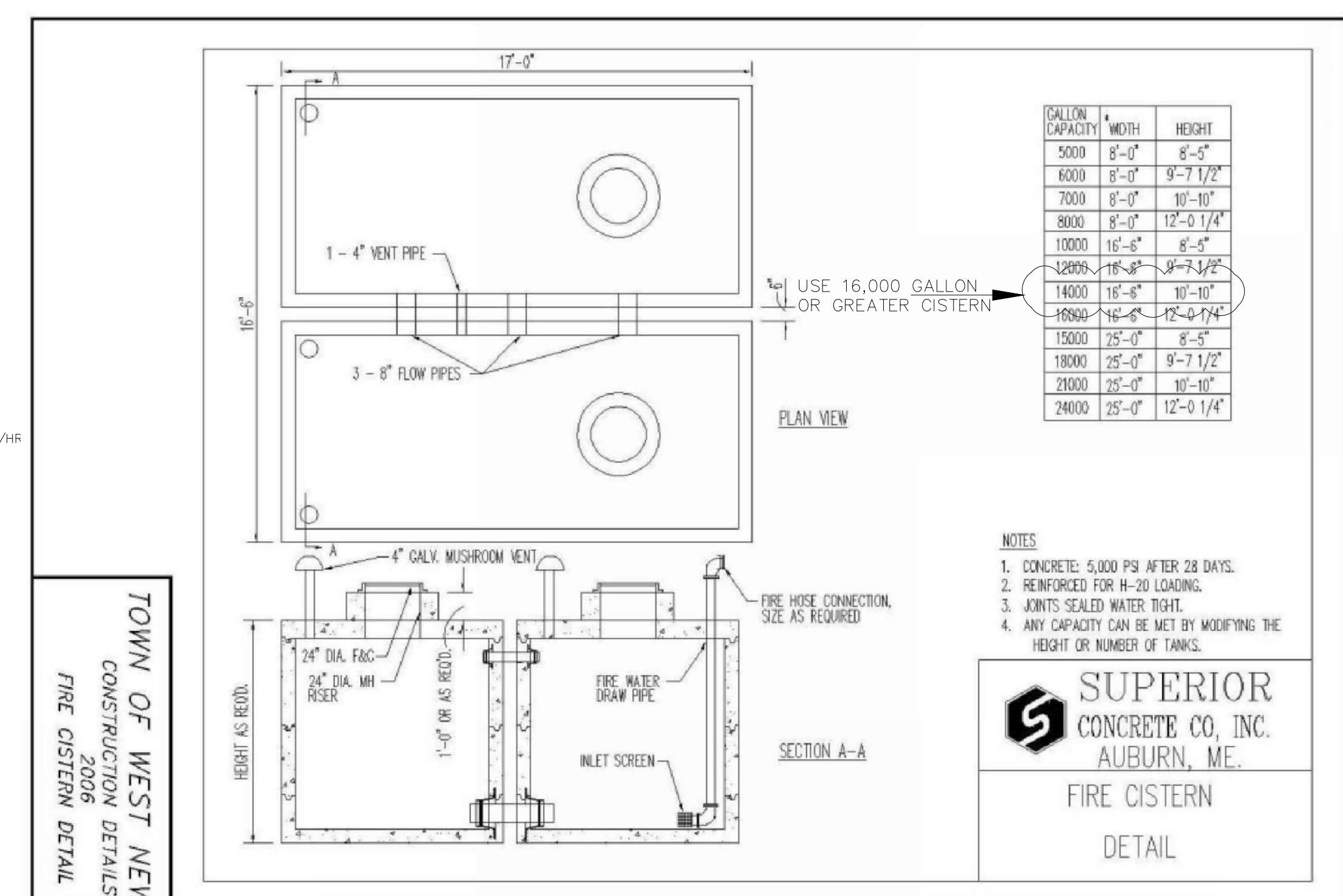
- NOTES:**
1. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN A FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICH EVER IS GREATER.
 2. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
 3. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM SUBSTITUTED FOR THE PIPE.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
 NOT TO SCALE



NOTE: SHOWN FOR GENERAL INFORMATION ONLY. FINAL WALL CONFIGURATION TO BE DETERMINED BY THE WALL SUPPLIER ENGINEER LICENSED TO PRACTICE ENGINEERING IN MASSACHUSETTS.

TYPICAL "SHEA" WALL SECTION
 (NOT TO SCALE)



GALLON CAPACITY	WIDTH	HEIGHT
5000	8'-0"	8'-5"
6000	8'-0"	9'-7 1/2"
7000	8'-0"	10'-10"
8000	8'-0"	12'-0 1/4"
10000	10'-6"	8'-5"
12000	10'-6"	9'-7 1/2"
14000	10'-6"	10'-10"
16000	10'-6"	12'-0 1/4"
18000	12'-0"	8'-5"
20000	12'-0"	9'-7 1/2"
24000	12'-0"	10'-10"
24000	12'-0"	12'-0 1/4"

- NOTES:**
1. CONCRETE: 5,000 PSI AFTER 28 DAYS.
 2. REINFORCED FOR H-20 LOADING.
 3. JOINTS SEALED WATER TIGHT.
 4. ANY CAPACITY CAN BE MET BY MODIFYING THE HEIGHT OR NUMBER OF TANKS.

SUPERIOR CONCRETE CO., INC.
 AUBURN, ME.
FIRE CISTERN DETAIL

TOWN OF WEST NEWBURY
 CONSTRUCTION DETAILS
 2006
 FIRE CISTERN DETAIL

- CISTERN DESIGN REQUIREMENTS:**
1. BASE, WALLS AND ROOF SHALL BE DESIGNED FOR THE PREVAILING SOIL CONDITIONS AND FOR THE LOADS ENCOUNTERED WHEN HEAVY VEHICLES ARE PARKED ADJACENT.
 2. IF GROUNDWATER CONDITIONS ARE HIGH, IT SHALL NOT FLOAT WHEN EMPTY.
 3. SUCTION PIPING SHALL BE DESIGNED TO MINIMIZE WHIRLPOOLING.
 4. VENT PIPING SHALL BE OF SUFFICIENT SIZE.
- CISTERN SPECIFICATION REQUIREMENTS:**
1. CISTERNS SHALL BE LOCATED NO MORE THAN 2,200 FEET TRUCK TRAVEL DISTANCE FROM THE HOUSE ON THE FURTHEMOST LOT WITHIN A SUBDIVISION.
 2. THE DESIGN OF A CISTERN SHALL BE TROUBLE-FREE AND LAST A LIFETIME.
 3. THE CISTERN VOLUME SHALL BE AS INDICATED IN SECTION 1, AVAILABLE THROUGH THE SUCTION PIPING SYSTEM, UNLESS DETERMINED OTHERWISE BY THE BOARD.
 4. THE SUCTION PIPING SYSTEM SHALL BE CAPABLE OF DELIVERING 1,000 GPM FOR THREE QUARTERS OF THE CISTERN CAPACITY.
 5. EACH CISTERN SHALL BE SITED TO THE PARTICULAR LOCATION, DESIGNED AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER.
 6. THE ENTIRE CISTERN SHALL BE COMPLETED AND INSPECTED BEFORE ANY BACKFILLING IS DONE.
 7. ALL BACKFILL MATERIAL SHALL BE SCREENED GRAVEL WITH NO STONES LARGER THAN 2 INCH AND SHALL BE COMPACTED TO 95 PERCENT ASTM 1557.
 8. BEDDING FOR THE CISTERN SHALL BE A MINIMUM 12 INCH CRUSHED, WASHED STONE, COMPACTED. NO FILL SHALL BE USED UNDER THE STONE.
 9. FILLER PIPE SIAMASE SHALL BE 36 INCHES ABOVE FINAL BACKFILL GRADE.
 10. SUCTION PIPE CONNECTIONS SHALL BE 20 TO 24 INCHES ABOVE THE LEVEL OF THE GRAVEL WHERE VEHICLE WHEELS WILL BE LOCATED WHEN CISTERN IS IN USE.
 11. SUCTION PIPE SHALL BE SUPPORTED EITHER ON TOP OF TANK OR TO A LEVEL BELOW FROST.
 12. AFTER BACKFILLING, THE TANK SHALL BE PROTECTED BY FENCING, STONES OR BY OTHER APPROPRIATE METHODS.
 13. BACKFILL OVER THE TANK SHALL BE: A) 4 FT. OF FILL, OR B) THE TOP AND HIGHEST 2 FT. OF SIDES OF CISTERN INSULATED WITH VERMIN-RESISTANT FOAM INSULATION, AND 2 FT. OF FILL; C) ALL BACKFILL SHALL EXTEND 10 FT. BEYOND THE EDGE OF THE CISTERN, THEN MAXIMUM 3:1 SLOPE, LOAMED AND SEEDED.
 14. THE BOTTOM OF THE SUCTION PIPE TO PUMPER CONNECTIONS SHALL NOT EXCEED 14 FT. VERTICAL DISTANCE.
 15. THE PITCH OF SHOULDER AND VEHICLE PADS FROM EDGE OF PAVEMENT TO PUMPER SUCTION CONNECTION SHALL BE 1 TO 6 PERCENT DOWN GRADE.
 16. SHOULDER AND VEHICLE PADS SHALL BE OF SUFFICIENT LENGTH TO PERMIT CONVENIENT ACCESS TO A SUCTION CONNECTION WHEN PUMPER IS SET AT 45 DEGREES TO THE ROAD.
 17. ALL CONSTRUCTION, BACKFILL AND GRADING MATERIALS SHALL BE IN ACCORDANCE WITH PROPER CONSTRUCTION PRACTICES.
 18. THE OWNER/DEVELOPER IS RESPONSIBLE FOR COMPLETELY FILLING THE CISTERN UNTIL ACCEPTED BY THE FIRE DEPARTMENT.

Spelling

APPROVED BY THE TOWN OF WEST NEWBURY PLANNING BOARD

DATE _____

FILED _____
HEARING _____

CLERK OF THE TOWN OF WEST NEWBURY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SUCH NOTICE.

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REG. PROF. ENGINEER

ASSESSORS/OWNERS OF RECORD:

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125 RIVER ROAD
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WEST NEWBURY, MA 01985
BOOK 34827 PAGE 450
PLAN BOOK 173 PLAN 64

DEED REFERENCE:

ESRO BOOK 14031, PAGE 76
ESRO BOOK 34827, PAGE 450



Wetland Impacts And Mitigation Summary

Area Identification	Permanent Resource Impact	Temporary Resource Impact	Replicated Resource Area	Restored Resource Area
WETLAND SERIES B	1,396 SF	800 SF	1,609 SF	800 SF
WETLAND SERIES C	877 SF	520 SF	3,033 SF	520 SF
TOTALS	2,273 SF	1,320 SF	4,642 SF	1,320 SF

- NOTES:
1. PROVIDING >2:1 REPLICATION FOR IMPACTED WETLANDS.
2. TEMPORARY IMPACTS SHALL BE RESTORED TO PRE CONSTRUCTION CONDITIONS.

Plant List

Key	Qty.	Botanical Name	Common Name
Replication Area 1			
RM	3	ACER RUBRUM	RED MAPLE
RC	3	ARONIA ARBUTIFOLIA	RED CHOKEBERRY
BB	3	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY
Replication Area 2			
RC	4	ARONIA ARBUTIFOLIA	RED CHOKEBERRY
BB	2	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY
Replication Area 3			
RM	1	ACER RUBRUM	RED MAPLE
RC	5	ARONIA ARBUTIFOLIA	RED CHOKEBERRY
BB	4	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY
Replication Area 4			
RM	3	ACER RUBRUM	RED MAPLE
RC	7	ARONIA ARBUTIFOLIA	RED CHOKEBERRY
BB	6	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY

Plant Legend

	RED MAPLE
	RED CHOKEBERRY
	HIGHBUSH BLUEBERRY

REPLICATION DETAIL

1" = 20'

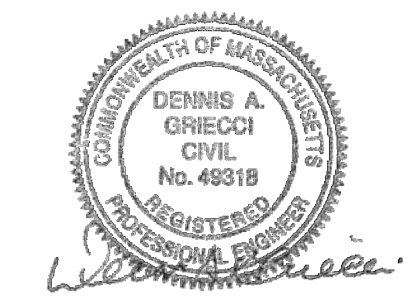
Revision No.	Revision Description	Date
2	PER PEER REVIEW COMMENTS	04/29/2024
1	REVISIONS PER INITIAL PEER REVIEW	12/18/2023

DEFINITIVE SUBDIVISION
WETLAND REPLICATION DETAIL
EAGLE NEST
WEST NEWBURY, MASS.

PREPARED FOR: MICHAEL FUSCO
DATE: NOVEMBER 20, 2023
SCALE: 1" = 40'

andover consultants inc.

1 East River Place
Methuen, Mass. 01844
Telephone: 978-687-3828



Dennis A. Grieci
Reg. Prof. Engineer





VIA EMAIL: townplanner@wnewbury.org

January 9, 2024

West Newbury Planning Board
Attention: Sue Brown, Town Planner
Town Hall Office Building
381 Main Street
West Newbury, Massachusetts 01985

**Re: Definitive Subdivision Plan - Peer Review #01
Eagle Nest
125 River Road
West Newbury, Massachusetts 01985**

Dear Ms. Brown and Planning Board Members:

At your request, Meridian Associates, Inc. (MAI), has performed a technical review of the above referenced project. As the basis for our review, we have referenced the standards and requirements contained in the following Town documents and regulation as well as generally accepted engineering practices:

- Town of West Newbury Planning Board Rules and Regulations Governing the Subdivision of Land, dated through September 3, 2019;
- Town of West Newbury Planning Board 'Checklist for Definitive Subdivision Plans (Form C)';
- Town of West Newbury Planning Board Stormwater Management Regulations, dated through June 6, 2023;
- Town of West Newbury Zoning By-Law, dated through May 14, 2022;
- Town of West Newbury Zoning Map, dated through May 3, 2012;
- Town of West Newbury Groundwater Protection Overlay District Map, dated through October 23, 2017;

As of the date of this letter, MAI has received and reviewed the following plans, documents, reports and calculations:

- Cover Letter, prepared by Andover Consultants, Inc., dated November 30, 2023 (1 page);
- Town of West Newbury Planning Board Form C – Application for Approval of a Definitive Subdivision Plan (3 pages);
- List of Requested Waivers, prepared by Andover Consultants, Inc., dated November 27, 2023 (3 pages);
- Definitive Subdivision Plan set entitled: "Definitive Subdivision "Eagle Nest" River Road West Newbury, Massachusetts, prepared by Andover Consultants, Inc., dated November 23, 2023, and revised December 18, 2023 (10 sheets);
- "Stormwater Management Permit Project Narrative – River Road, West Newbury, MA" prepared by Andover Consultants, Inc., dated January 4, 2024;



After reviewing the above referenced materials, we offer the following comments and opinions for your consideration in **blue** text:

A. Town of West Newbury Planning Board Rules and Regulations Governing the Subdivision of Land

The submittal of this Definitive Subdivision Plan set, and accompanying documents appear to be completed in general conformance with the West Newbury Planning Board Subdivision Rules and Regulations (Section 3.3) with requested waivers and the with the following exceptions:

1. Section 3.3.3.1.1 states “...Pre – and Post – Development Watershed Plans.”
MAI notes that this project is a subdivision comprised of less than four (4) lots, which is exempt from the MassDEP stormwater management standards, drainage calculations and Pre- and Post-Development Watershed Plans are not required under the State Stormwater Management Requirements and therefore have not been provided.
2. Section 3.3.3.1.4. states “A scale on each sheet of 1”=40’ horizontally and 1”=4’ vertically, or such other scale as the Board may accept to clearly and adequately depict the plan intent and details.”
The Plan and Profile of the roadway, sheet 8 of 16, is at a scale of 1”=20’ horizontally and 1”=2’ vertically to more clearly depict the information on this sheet. This is a non-issue; however, it is at the discretion of the board to accept such scales.
3. Section 3.3.3.1.5. states that “All elevations shall be shown as based on NGVD-1929 MSL vertical datum unless otherwise approved by Board.”
Elevations shown on the plans are based upon 1988 NAVD Datum. The applicant has requested a waiver to allow for the elevations to be NAVD 1988 datum. It is the discretion of the board to accept such waiver request.
4. Section 3.3.3.1.9. states that the plans show “Location and ownership of abutting properties as they appear on the Form E, including the Assessors Map and Lot numbers, deed and plan references.”
It does not appear as though the information regarding the ownership of the abutting properties to the west of ‘Remaining Area’ has been shown on the plans. MAI recommends that the applicant depict the required information to conform to this requirement or request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.
5. Section 3.3.3.1.10. states that the plans show “Zoning district(s) classification and zoning district boundaries and all the applicable minimum dimensional requirements according to the Zoning By-Law.”
The plans depict the required dimensional requirement table. However, the requirements for maximum lot coverage, maximum building coverage and maximum height are not shown on the table nor are the dimensional requirements for the ‘Remaining Area’. Since the stormwater management system is contingent on the size of the proposed dwellings, this information should be shown. MAI recommends that the applicant revise the plans and the zoning chart to conform to this requirement.



6. Section 3.3.3.1.11. states that the plans show “Location of all trees over ten (10) inches in caliper within or along the right-of-way of a Scenic Road, and in those areas subject to disturbance, such as for driveways, within or along the right-of-way shall be shown.”
The plans do not show specific trees within the limits of the proposed work. The applicant has requested a waiver to not depict the specific trees to be removed within the limits of work. It is the discretion of the board to accept such waiver request.
7. Section 3.3.3.2.1. states that the plans show “Major existing features of the land such as waterways, wetlands in and within 100’ of the subdivision, water bodies, natural drainage courses, walls, fences, buildings, isolated large, wooded areas, trails, ledge and isolated outcroppings, ditches, wells and septic systems in and within 100’ of the subdivision, water service lines, utility poles and overhead lines, water mains, fire hydrants, drainage pipes, catch basins and manholes, walks, driveways, roads and the like.”
Although a significant amount of this information is not shown, it does not appear to be relevant to the engineering design of the project. However, MAI recommends that the applicant request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.
8. Section 3.3.3.2.4. states “Where available, the average daily traffic counts of these roads should be provided. Where not available, same may be required by the Board.”
Although this information is not shown, it does not appear to be significant to this three (3) lot subdivision project. However, MAI recommends that the applicant request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.
9. Section 3.3.3.2.5. states that the plans show “Existing structures in and within 50’ of the perimeter of the subdivision.”
This information is not shown. MAI recommends that the applicant request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.
10. Section 3.3.3.3.1. states that the plans show “Sufficient data to determine the location, direction (bearing) and distance (length) of every boundary, lot, street, common driveway, way and easement line in the subdivision. This shall include necessary data (radii, arc and tangent lengths and central angle) of all curved boundaries. A calculations package shall be included to document this information as shown on the plans.”
As stated above, there does not appear to be boundary information provided for the land to the west of ‘Remaining Area’ as required. Lot closure calculations for the overall property, the proposed right-of-way and each of the three (3) proposed lots has not been provided. MAI recommends that the applicant request a waiver and provide rationale to not depict or provide that information or revise the plans and/or provide the required calculations to conform to this requirement.
11. Section 3.3.3.3.3. states that the plans show “Proposed subdivision lot numbers shown enclosed in a circle. Prior to plan endorsement by the Board indicate Assessors lot numbers enclosed in a square as assigned by the Assessor’s office and indicate street address numbers enclosed in a triangle as assigned by the Building Inspector’s office.”



The proposed lot numbers are not enclosed in a circle and empty rectangles are not provided for each lot, future labeling by the Assessor's office with the new assessor's lot numbers and the new street address. MAI recommends that the applicant revise the plans to depict this information.

12. Section 3.3.3.3.4. states that the plans show "Frontage and widths (measured at the minimum front setback line) of each proposed lot."

The proposed frontage and lot width are not shown for the 'Remaining Land' or on Lots 1 and 2. MAI recommends that the applicant revise the plans and the zoning chart to depict this information.

13. Section 3.3.3.3.7. states that the plans show "Names of all abutters including those across streets from the subdivision with references to abutter's Assessors Map/Lot Numbers, deed and plan references."

The plans do not show this information. MAI recommends that the applicant revise the plans to depict this information.

14. Section 3.3.3.3.8 states that the plans show "Street bounds shown at all angle points, points of curvature or tangency, or as otherwise needed to depict the boundaries of all proposed streets, common driveways, and ways of the subdivision."

The plans do not show any proposed bounds. MAI recommends that the applicant request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.

15. Section 3.3.3.4.7. states that the plans show "Location, size and type of all proposed street trees."

Street trees are not proposed as a part of this project. MAI recommends that the applicant request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.

16. Section 3.3.3.4.9. states that the plans show "Location of all proposed individual wells and subsurface sewage disposal systems including required setback dimension between same and to lot lines, structures and wetland resource areas."

The plans show the locations of the proposed wells and subsurface sewage disposal systems. MAI recommends that additional setback dimensions be added to conform compliance with this requirement.

17. Section 3.3.3.4.10 states that the plans show "Location, identification and test results of all soils testing including establishment of ledge, estimated seasonal high groundwater table and percolation/infiltration rates in support of both proposed stormwater and sanitary (septic) facilities."

There do not appear to have been any test pits, and percolation tests, performed as there is no test pit information provided. There are two (2) notes that state that the septic systems are to be installed in conformance with West Newbury Board of Health and with Title V which require that test pits be performed as a part of the design. The applicant has requested a waiver to perform test pits for the subsurface sewage disposal systems after following the approval from the Planning Board and Conservation Commission. It is the discretion of the board to accept such waiver request.



18. Section 3.3.3.4.11. states that the plans show “Location, size and type of proposed sidewalks, trails, lighting, curbing and Driveways.”
MAI notes that there are no sidewalks, trails, lighting, curbing depicted on the plans. Due to the small scale of this project the applicant has requested a waiver from these design elements. It is the discretion of the board to accept such waiver request.
19. Section 3.3.3.4.12. states “Drainage calculations in support of the drainage plan as required by Section 4.4.”
MAI notes that this project is a subdivision comprised of less than four (4) lots, which is exempt from the MassDEP stormwater management standards. As such, drainage calculations are not required and have not been provided. However, it should be noted that sizing calculations of the roadside crushed stone infiltration trench and each of the two (2) roof drywells, have been provided which depict that the trench and the drywells, each have the storage capacity, not accounting for infiltration, for more than a one (1) inch storm event. This complies with the Town of West Newbury Planning Board Stormwater Management Regulations. That said, the applicant has requested a waiver from the requirement to provide stormwater drainage calculations. It is the discretion of the board to accept such waiver request.
20. Section 3.3.3.5.1. states that the plans show “Bearings and distances of all tangents along the center line.”
The plans do not depict the required information. MAI recommends that the applicant revise the plans to conform to this requirement.
21. Section 3.3.3.5.3. states that the plans show “Radii, arc length and central angle of all curves along the center line.”
The plans do not depict the required information. MAI recommends that the applicant revise the plans to conform to this requirement.
22. Section 3.3.3.5.13. states that the plans show “Proposed street trees including size and type.”
Street trees are not proposed as a part of this project. MAI recommends that the applicant request a waiver and provide rationale to not depict that information or revise the plans to conform to this requirement.
23. Section 3.3.3.5.16 states that the plans show “Existing left and right, right-of-way profiles drawn in fine lines – dotted for left and dashed for right.”
The plans do not depict the required information. MAI recommends that the applicant revise the plans to conform to this requirement.
24. Section 3.3.3.7. (Sections 3.3.3.7.1 and 3.3.3.7.2) Pre- and Post- Development Watershed Plan
MAI notes that this project is a subdivision comprised of less than four (4) lots, which is exempt from the MassDEP stormwater management standards, drainage calculations and Pre- and Post- Development Watershed Plans are not required and therefore have not been provided.
25. Section 4.2.4.4. states that the plans show “The minimum centerline radii of curved streets shall be 200 feet.”



The plans do not label the centerline radius of the proposed roadway. MAI recommends that the applicant depict the centerline radius of the proposed roadway to ensure conformance with this requirement.

26. Section 4.2.4.5. states “At intersections between proposed subdivision streets and existing streets external to the subdivision, sufficient sight distance shall be provided to ensure the safe egress of vehicles from the subdivision. In determining adequacy of sight distance, consideration shall be given to the traffic characteristics, including speed, volume and composition, of the traffic on all streets involved. In no case shall the sight distance available to drivers egressing a subdivision be less than 250 feet.”

The required sight distance is not met in a southerly direction, and it cannot be determined if it is met in a northerly direction as the limits of the pavement are not shown. Sight distance looking north should line up with south bund traffic. It should be noted that there is a utility pole and existing vegetation to the south of the proposed drive that may impede on the site distance. Due to the unique character of this project, the applicant has requested a waiver from the sight distance requirement. It is the discretion of the board to accept such waiver request.

27. Section 4.2.4.6. states “Streets shall be laid out so as to intersect as nearly as possible at right angles. No street shall intersect any other street at less than 60 degrees.”

The proposed roadway intersection angle was not provided. MAI recommends that the applicant revise the plans to conform to this requirement.

28. Section 4.2.4.7. states “Property lines at street intersections shall be rounded or cut back to provide for a curb line radius of not less than 15 feet. Greater radii shall be required by the Board where deemed necessary for present and future vehicular travel.”

The proposed pavement radii proposed at the intersection of the proposed roadway with River Road are twelve (12) feet. MAI recommends that the applicant revise the plans to conform to this requirement.

29. Section 4.2.4.9. states “The minimum frontage on the existing street of the parcel to be subdivided shall be at least the frontage required for the zoning district in order to provide for the right-of-way and buffers to abutting property.”

The proposed subdivision appears to comply with the requirement that the property must have the minimum frontage required in order to provide a right-of-way. The Land for 125 River Road, has frontage in two (2) locations, one (1) to the far west of the proposed Right-of-Way and one (1) at the location of the proposed Right-of-Way. Once the frontage is split between 125 and 171, 125 still maintains frontage in excess of two hundred (200) feet on the far westerly portion of the property. However, the frontage in the location of the proposed Right-of-Way appears to be under two hundred (200) feet. With that said, and due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.

30. Section 4.2.4.11. states “Unless there are compelling reasons to do otherwise, the centerline of the road shall be located from the sidelines of the existing abutter lots a distance of at least one half the frontage required from the zoning district.”



The proposed subdivision centerline does not comply with this requirement. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.

31. Section 4.2.5.1. states “Modified Cape Cod berm shall be required along all edges of pavement unless an alternative design is approved by the Board.”

The plans do not show any curbing. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.

32. Section 4.2.6.3. states “The minimum width of the traveled way of the subdivision roadway shall be... 20 feet for a Minor Local Access Road... Traveled width may be reduced to 18 feet on roadways at the discretion of the Planning Board, Public Safety and the Highway Superintendent on minor local access roads based on grade and drainage requirements.”

The plans propose a roadway width of what appears to be over twenty (20) feet at the site entrance, a width of eighteen (18) feet elsewhere and a reduced width of fifteen (15) feet at the wetland crossing. The plans should clarify the width of the pavement at the entrance. It should also be noted that the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.

33. Section 4.8.2.2. states “Dead end streets or combination of two dead end streets shall not exceed 800 feet in length unless, in the opinion of the Board, a greater length is necessitated by topography or other local conditions. Dead end streets shall be provided at the closed end with a turnaround having an outside pavement diameter of 100 feet and a property line diameter of 120 feet.”

The plans depict a hammerhead (‘T’) turnaround in lieu of a circular cul-de-sac. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.

34. Section 4.2.8.3. states “Circular turnarounds shall provide a landscape island in the center. The applicant shall submit a landscape plan for the central portion of turnaround.”

The plans depict a hammerhead (‘T’) turnaround in lieu of a circular cul-de-sac. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.

35. Section 4.2.10.2. states “Construction shall not be proposed of roads, stormwater management systems, driveways, pipes, or other infrastructure construction shown on a subdivision plan on a land area which slopes at a pre-construction grade of 25% or more.”

MAI recommends that the plans be revised to depict any locations, within the limit of work within the site, with a pre-construction grade of twenty-five (25) percent or greater they should be shown on the plan set. Should there not be any areas with slopes greater than twenty-five (25) percent, then a note should be added.

36. Section 4.3.1.1. states “A sidewalk shall be located within, and adjacent to, the exterior line of the right-of-way. In a typical layout, the sidewalk shall be located at a uniform distance parallel to the paved section of the street and separated from it by a landscaped strip. The Board may approve a “meandering” location in which the sidewalk follows existing terrain, with consideration to stone



walls, large, mature trees, rock outcroppings and other natural or historically significant features, enabling the construction of the sidewalk to minimize disturbance to such features. All or portions of a meandering sidewalk may be located outside the right-of-way provided that a proper easement is granted to the Town.”

The plans do not propose sidewalks. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.

37. Section 4.3.1.5. states “Applicants are encouraged to provide for footpaths and trails within the subdivision or connecting to abutting permanent open space, town property, or other subdivisions.”

The plans do not propose footpaths or trails within the project area. The undeveloped portion of the property is to remain. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.

38. Section 4.3.1.6. states “Bicycle Path/Recreational Path: The Planning Board may request the construction of a bicycle path/recreational path in order to: (a) provide a connection to a Town bicycle path/recreational path located on adjoining land; or (b) where the path would be part of an existing or proposed future Town bicycle path/recreational path system, or bicycle path/recreational paths leading to a public school.”

The plans do not propose bicycle paths or recreational paths. Due to the unique character of this project, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.

39. Section 4.4. “Stormwater Management”

MAI notes that since this project is a subdivision comprised of less than four (4) lots, that it is exempt from the MassDEP stormwater management standards. As such, drainage calculations are not required and have not been provided. That said, the applicant has requested a waiver from the requirement to provide stormwater management beyond what is described above. It is the discretion of the board to accept such waiver request.

40. Section 4.4.1 states “Stormwater management for each subdivision shall accomplish the following:

- (1) Reproduce, as nearly as possible, the hydrological conditions in the ground and surface waters prior to the development;
- (2) Reduce stormwater pollution to the maximum extent possible using Best Management Practices (BMP’s);
- (3) Have an acceptable future maintenance plan covering method and execution;
- (4) Have a beneficial effect on the natural and human environment;
- (5) Be appropriate for the site, given the site’s specific physical constraints;
- (6) Provide a sufficient level of health and environmental protection during the construction phase, and
- (7) Provide proper management prior to the discharge of such runoff onto adjacent property owned by others, into the existing storm drainage system, or wetland resources listed in the Wetland Protection Act Regulations, 310 CMR 10.00.”



MAI recommends that the applicant provide documentation and explanations and descriptions that address how each of the seven (7) items, listed above, are specifically addressed, to the greatest extent practicable, by the design of the project.

41. Section 4.4.2 states ““Stormwater management systems located outside the right of wall shall be owned, maintained by the residents of the subdivision, under a homeowner’s association established in a form satisfactory to the Board. Prior to the Planning Board’s endorsement of the subdivision plans, developers shall provide the Town with appropriate easements to such stormwater systems so that the Town may inspect and/or carry out emergency maintenance or repairs when necessary to protect the health, safety and welfare of the public. Notation of this effect shall be made on the plan and recorded at the Registry of Deeds.”

This notation is not depicted on the plan. MAI recommends that the plans be revised to depict this note. MAI also recommends that this note be modified to include that the thirty (30) inch RCP culvert, the six (6) inch HDPE culvert (or potentially twelve (12) inch RCP culvert), the roadside crushed stone infiltration trench and the eight (8) foot diameter crushed stone settling pool be owned and maintained by the residents of the subdivision.

42. Section 4.4.9. states “The size of storm sewer pipe shall be in accordance with the drainage computations but in no case less than 12” diameter and shall be shown on the Definitive Plan. Cellar drains shall not be connected into catch basins, manholes, pipes or any part of the street storm drain system and in no case shall discharge into the right-of-way or street. Foundation, perimeter or roof drains may be connected into the street drainage system if approved by the Town DPW.”

The plans depict a six (6) inch roof drain HDPE pipe, from the existing dwelling, discharging to the western side of the proposed roadway, within the proposed right-of-way. MAI recommends that this pipe be increased to a minimum twelve (12) inch diameter RCP and/or redirected as to not discharge within the right-of-way. MAI also recommends that the applicant request a waiver and provide rationale to allow the pipe to remain as is, and/or increased in diameter or revise the plans to conform to this requirement.

43. Section 4.5: ‘Water Distribution Systems’

The project is not proposed to connect to a municipal water system, as such, the applicant has requested a waiver from this design requirement. It is the discretion of the board to accept such waiver request.

44. Section 4.6.3.5. “Cistern Design”

MAI recommends that the plans be revised to depict the Cistern Design Requirement notes stated in Section 4.6.3.5. and Section 4.6.3.6.

45. Section 4.7.3. states “No components of any private irrigation system shall be installed within the street right-of-way.”

MAI recommends that the plans be revised to depict this note.

46. Section 4.7.4. states “Electrical transformers shall be located outside the Town’s right-of-way and on the property line with appropriate easements provided to the electric utility.

MAI recommends that the plans be revised to depict this note.



B. Town of West Newbury Planning Board Stormwater Management Regulations

The submittal of this Definitive Subdivision Plan set, and accompanying documents appear to be completed in general conformance with the Town of West Newbury Planning Board Stormwater Management Regulations (Sections 8, 9.1, 10.1 and Appendix D) with the following exceptions:

1. Section 8.1: These items appear to have been addressed in the Definitive Subdivision Plans and in the Stormwater Management Permit Project Narrative. The Applicant has provided revised Stone Trench and Drywell Details which are to be incorporated into the revised Definitive Subdivision Plans.

MAI has no further comments on this Section.

2. Section 8.2 states: “Projects eligible for Tier Two Stormwater Management Permits shall meet the construction-site stormwater management performance standards detailed in Section 7.2 to the maximum extent practicable.” With that said:

- 2.1. Section 7.2.(10) states: “Dewatering activities shall use tanks, filter bags, or other practices to remove sediment before discharge, in accordance with the standards and requirements contained within the NPDES Construction General Permit. Water shall not be discharged in a manner that causes erosion or flooding”

MAI recommends that the plans be revised to depict this note.

- 2.2. Section 7.2.(12) states: “Trash, debris, and sanitary wastes shall be removed from the site on a regular basis. Dumpsters shall be covered at the end of every workday and before rain events. Dumpsters shall be located outside the 100-foot buffer zone for wetland resource areas. Dumpsters shall not be allowed to leak or otherwise discharge to any stormwater conveyance, storm drain inlet, or wetland resource area. Concrete mixers shall be washed out only in designated areas with liners. Designated areas for washing concrete mixers shall be located outside the 100-foot buffer zone for wetland resource areas and outside the 200-foot Riverfront Area. Demolition debris, discarded building materials, concrete truck wash out, chemicals, litter, and sanitary wastes shall not be discharged to the MS4 and shall be disposed of in compliance with all local, state, and federal requirements.”

MAI recommends that the plans be revised to depict this note.

- 2.3. Section 7.2.(13) states: “Stormwater management facilities to be used after construction shall not be used as BMPs during construction unless otherwise approved by the Stormwater Authority.

MAI recommends that the plans be revised to depict this note.

- 2.4. Section 7.2.(14) states: “Dust control shall be used during grading operations. Dust control methods may consist of grading fine soils on calm days only or dampening the ground with water; no salts or other wetting agents shall be used for dust control within wetland resource areas, 100-foot buffer zone for wetland resource areas, or 200-foot Riverfront Area.”

MAI recommends that the plans be revised to depict this note.

3. Section 9.1: This item appears to have been addressed in the Definitive Subdivision Plans and in the Stormwater Management Permit Project Narrative.

MAI has no further comments.



4. Section 10.1: This item appears to have been addressed in the Definitive Subdivision Plans and in the Stormwater Management Permit Project Narrative.
MAI has no further comments.

C. General Application and Plan Comments

The following comments are in addition to the plan comments listed above under the Town of West Newbury Subdivision Plan Regulation review and the Town of West Newbury Stormwater Management Regulation review, although there may be some duplicates;

1. Sheet 1 of 10:
 - 1.1. Zoning Summary Chart should be revised per comments above;**
 - 1.2. List of Waivers should be updated per comments and applicable responses above;**
 - 1.3. Waiver 4.2.6.3 should state 15' not 12';**
 - 1.4. Locus Plan should show Lot 3 and 'Remaining Area';**
2. Sheet 2 of 10:
 - 2.1. The lot widths for Lots 2 and 3 should be added;**
 - 2.2. Proposed bounds should be depicted on the proposed Right-of-Way;**
 - 2.3. Show the property owner on the opposite side of River Road (all sheets);**
3. Sheet 3 of 10:
 - 3.1. No Comments;**
4. Sheet 4 of 10:
 - 4.1. No Comments;**
5. Sheet 5 of 10:
 - 5.1. No Comments;**
6. Sheet 6 of 10:
 - 6.1. Show 100-foot wellhead circles for the proposed wells;**
 - 6.2. Add setback dimensions to wetlands from proposed leaching fields;**
 - 6.3. Label Cistern as: 'Proposed 16,000 gal. Cistern';**
7. Sheet 7 of 10:
 - 7.1. Show 100-foot wellhead circles for the proposed wells;**
 - 7.2. Add note to the effect that soils testing will be performed in the final location of the roof drywells. Final locations, elevations and other design information of the drywells will be submitted to the Planning Board prior to installation.**
 - 7.3. Label Cistern as: 'Proposed 16,000 gal. Cistern';**
8. Sheet 8 of 10:
 - 8.1. No Comments**
9. Sheet 9 of 10:
 - 9.1. Provide a detail of the eight (8) foot diameter crushed stone settling pool;**



9.2. Add note to the dry well detail to the effect that soils testing will be performed in the final location of the roof drywells. Final locations, elevations and other design information of the drywells will be submitted to the Planning Board prior to installation.

10. Sheet 10 of 10:

10.1. MAI defers to the Conservation Commission for review of the wetland replication plantings and details.

I look forward discussing these items with you at a Planning Board Public Hearing date to be determined. Note that additional comments may arise during future conversations with the Applicant and the Town and at the Planning Boards Site Walk which is scheduled to occur after the date of the completion of this letter. Please do not hesitate to contact me with any questions, comments or concerns via email at dkelley@meridianassoc.com or via phone at (978) 265-5402.

Sincerely,

MERIDIAN ASSOCIATES, INC.

David S. Kelley, P.E.
Director of Engineering

From: [Building Inspector](#)
To: [Town Planner](#)
Subject: RE: 125 River Road - Eagles Nest Subdivision
Date: Wednesday, May 15, 2024 8:50:20 AM
Attachments: [image001.png](#)

No comments.

Sam Joslin
Building Commissioner
978-363-1100 x121
Building.Inspector@WNewbury.org



The Secretary of the Commonwealth's Office has determined that most e-mails to and from municipal offices and officials are public records. Consequently, confidentiality should not be expected.

From: Town Planner <townplanner@wnewbury.org>
Sent: Tuesday, May 14, 2024 4:11 PM
To: Building Inspector <building.inspector@wnewbury.org>; Paul Sevigny <psevigny@wnewbury.org>; Conservation <conservation@wnewbury.org>; Michael Dwyer <dwyer@westnewburysafety.org>; Highway <highway@wnewbury.org>
Subject: 125 River Road - Eagles Nest Subdivision

Hi All,

Just following up to see if you have any comments regarding the revised Subdivision Plans for 125 River Road. The Board's meeting packet goes out tomorrow for next Tuesday's continued hearing, so it would be great if you could forward any comments by end of day tomorrow.

If no further comments, that's ok too.

Cheers,

Sue Brown, RLA
Town Planner
West Newbury
townplanner@wnewbury.org
(978) 363-1100 x125

From: [Highway](#)
To: [Town Planner](#)
Subject: RE: 125 River Road - Eagles Nest Subdivision
Date: Wednesday, May 15, 2024 3:20:19 PM

Hi Sue,
My concerns were addressed .

Thanks
Butch

From: Town Planner <townplanner@wnewbury.org>
Sent: Wednesday, May 15, 2024 11:24 AM
To: Paul Sevigny <psevigny@wnewbury.org>; Building Inspector <building.inspector@wnewbury.org>; Conservation <conservation@wnewbury.org>; Michael Dwyer <dwyer@westnewburysafety.org>; Highway <highway@wnewbury.org>
Subject: RE: 125 River Road - Eagles Nest Subdivision

Thanks for that update Paul.

From: Paul Sevigny <psevigny@wnewbury.org>
Sent: Wednesday, May 15, 2024 11:22 AM
To: Town Planner <townplanner@wnewbury.org>; Building Inspector <building.inspector@wnewbury.org>; Conservation <conservation@wnewbury.org>; Michael Dwyer <dwyer@westnewburysafety.org>; Highway <highway@wnewbury.org>
Subject: RE: 125 River Road - Eagles Nest Subdivision

Nothing on my end yet. We have soil testing scheduled for the 23rd.

From: Town Planner <townplanner@wnewbury.org>
Sent: Tuesday, May 14, 2024 4:11 PM
To: Building Inspector <building.inspector@wnewbury.org>; Paul Sevigny <psevigny@wnewbury.org>; Conservation <conservation@wnewbury.org>; Michael Dwyer <dwyer@westnewburysafety.org>; Highway <highway@wnewbury.org>
Subject: 125 River Road - Eagles Nest Subdivision

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If no further comments, that's ok too.

Cheers,

Sue Brown, RLA

Town Planner

West Newbury

townplanner@wnewbury.org

(978) 363-1100 x125

From: [Paul Sevigny](#)
To: [Town Planner](#); [Building Inspector](#); [Conservation](#); [Michael Dwyer](#); [Highway](#)
Subject: RE: 125 River Road - Eagles Nest Subdivision
Date: Wednesday, May 15, 2024 11:22:20 AM

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From: Town Planner <townplanner@wnewbury.org>
Sent: Tuesday, May 14, 2024 4:11 PM
To: Building Inspector <building.inspector@wnewbury.org>; Paul Sevigny <psevigny@wnewbury.org>; Conservation <conservation@wnewbury.org>; Michael Dwyer <dwyer@westnewburysafety.org>; Highway <highway@wnewbury.org>
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Cheers,

Sue Brown, RLA
Town Planner
West Newbury
townplanner@wnewbury.org
(978) 363-1100 x125

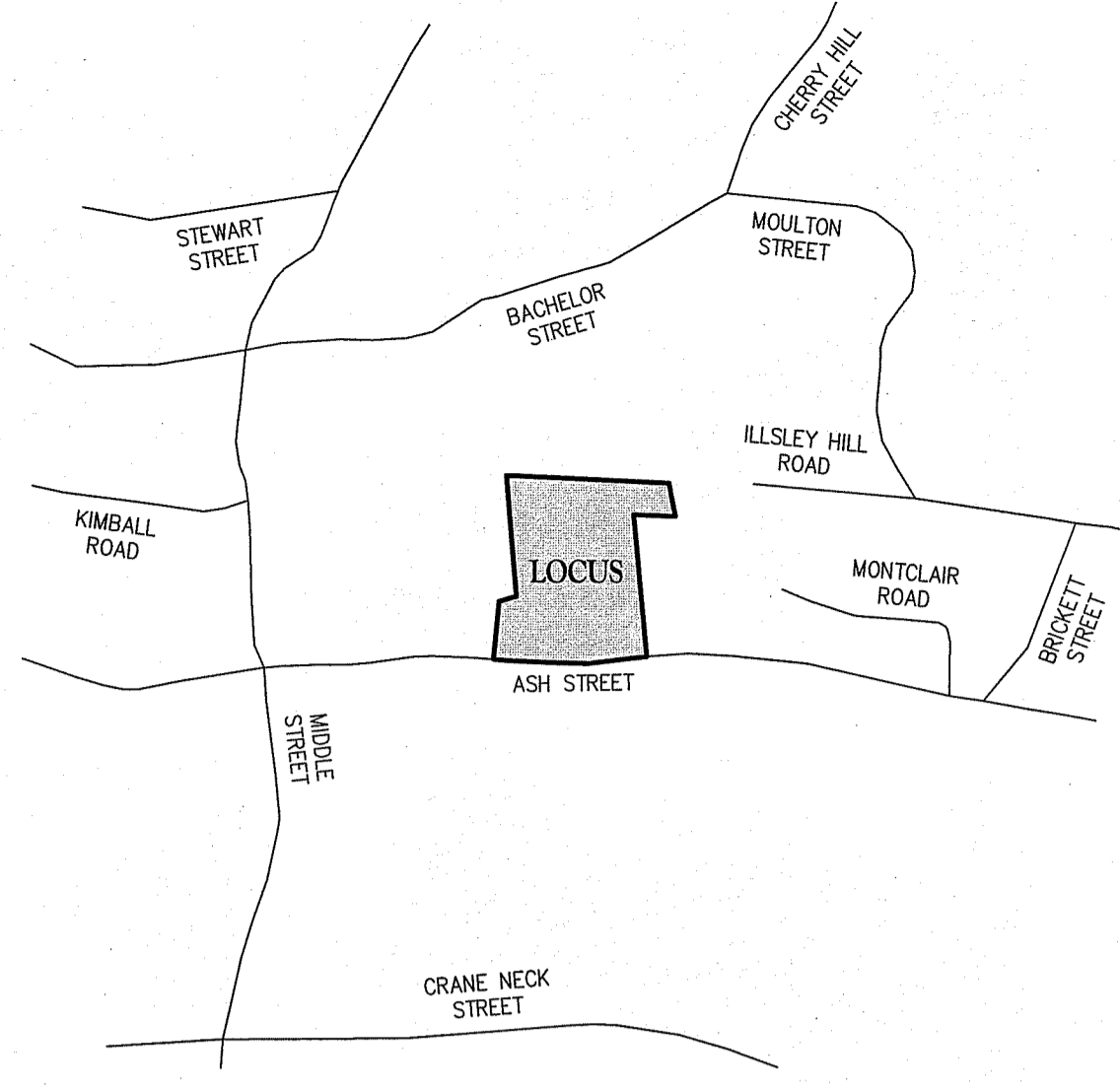
APPROVAL UNDER THE SUBDIVISION
CONTROL LAW NOT REQUIRED
M.G.L. CHAPT. 41 SEC. 81P
TOWN OF WEST NEWBURY PLANNING BOARD

DATE: _____

THE PLANNING BOARD'S ENDORSEMENT OF THE PLAN AS NOT REQUIRING APPROVAL UNDER THE SUBDIVISION CONTROL LAW DOES NOT GIVE LOTS OR PARCELS ANY STANDING UNDER THE ZONING BY-LAW OF THE TOWN OF WEST NEWBURY.

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

Andrew W. MacLaren 5/13/2024
ANDREW W. MACLAREN DATE



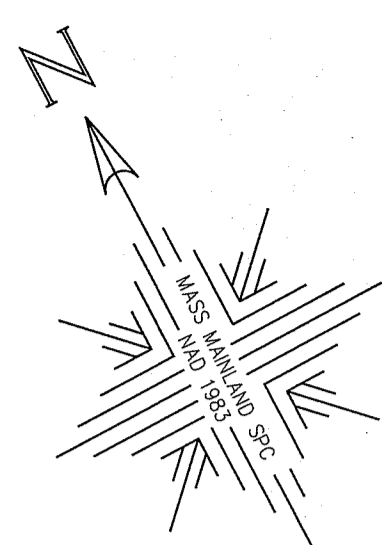
LOCUS MAP
NOT TO SCALE

ASSESSOR REFERENCE
MAP R7 LOT 4

ZONING DISTRICT RES. A
MINIMUM LOT AREA= 80,000 S.F.
MINIMUM FRONTAGE= 200'
MINIMUM FRONT YARD SETBACK=40'
MINIMUM SIDE YARD SETBACK=20'
MINIMUM REAR YARD SETBACK=20'

NOTES

- ORIENTATION IS TO MASS MAINLAND SPC NAD83.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO ESTABLISH THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES WHETHER EXPRESSED, IMPLIED OR PRESCRIPTIVE.



N/F
HADDOCK REALTY TRUST
MAP R8 LOT 5
BOOK 15452 PAGE 229

N/F
THE 171 RIVER RD TRUST
MAP R7 LOT 15
BOOK 10517 PAGE 153

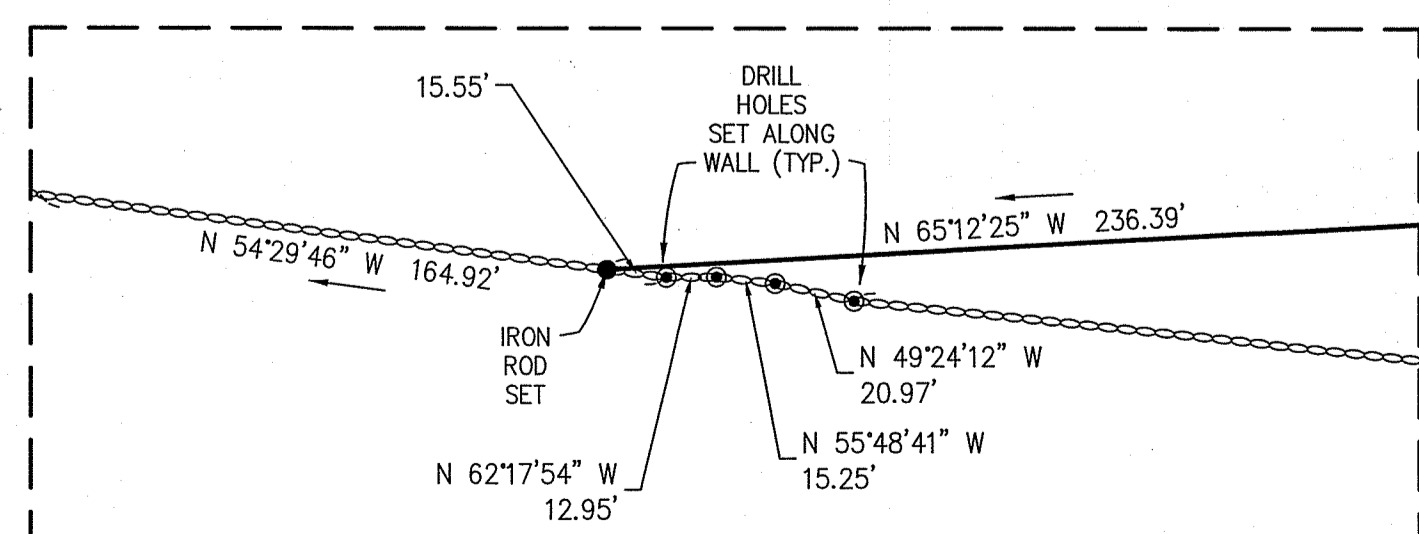
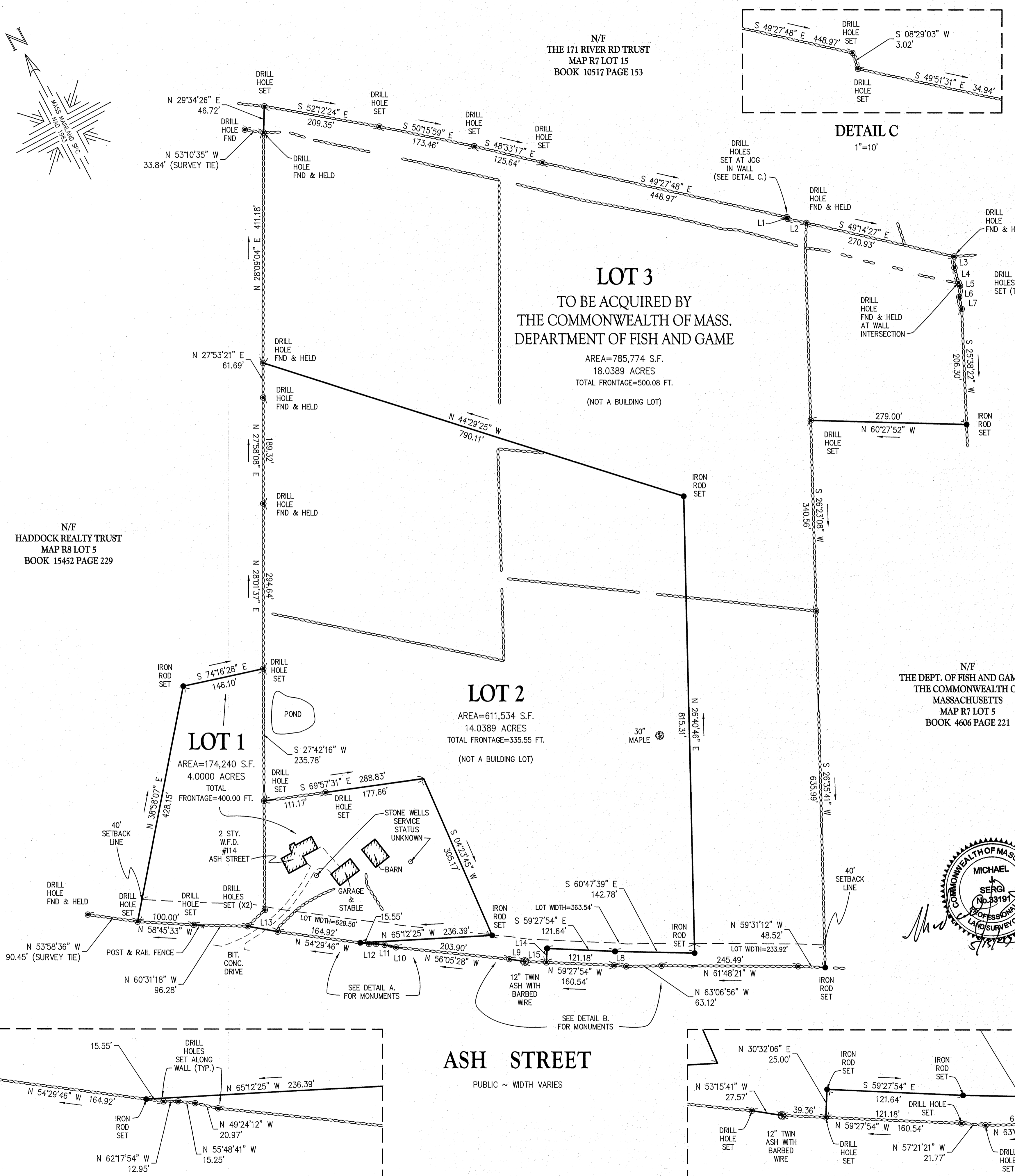
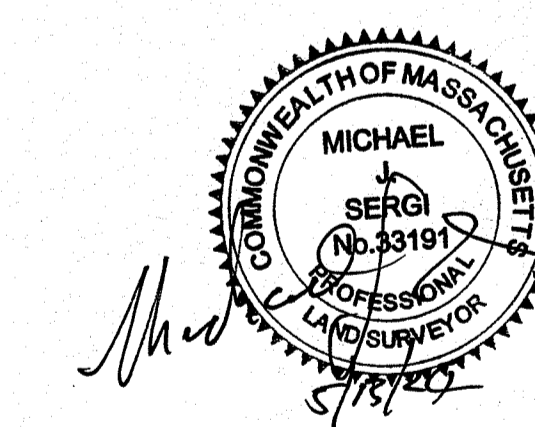
DETAIL C
1"=10'

N/F
S. HELENA DION TRUST
MAP R7 LOT 11
BOOK 41514 PAGE 518

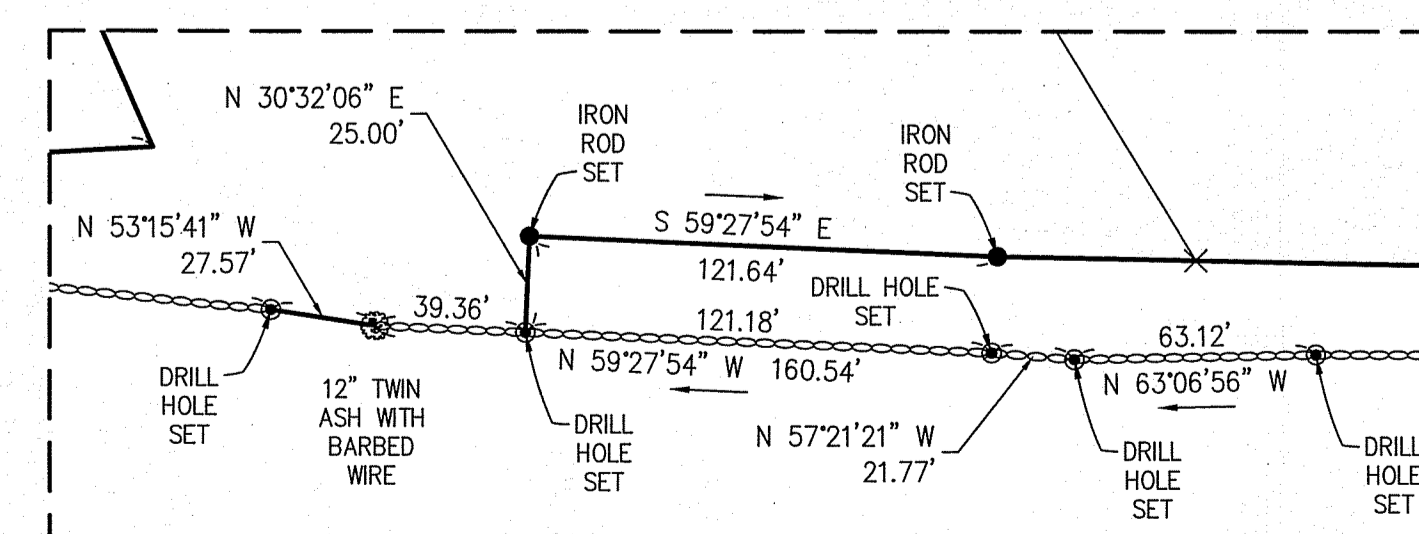
KEY REFERENCE DEEDS & PLANS

- DEED FROM ROBERT R. LOVEJOY AND BARBARA A. LOVEJOY TO ROBERT R. LOVEJOY AND BARBARA A. LOVEJOY AS TRUSTEES OF THE EVERGREEN FARM TRUST U/D/T DATED JANUARY 28, 1997, RECORDED 5/19/1998 AT THE SOUTH ESSEX REGISTRY OF DEEDS BOOK 14815 PAGE 406.
- "PLAN OF LAND LOCATED IN WEST NEWBURY, MASS TO BE CONVEYED BY SMITH TO HOOPES" DRAWN BY CHAS H. MORSE & SON ENGRS, DATED 9/19/1960 AND RECORDED AT THE SOUTH ESSEX REGISTRY OF DEEDS PLAN 599 OF 1960.
- "PLAN OF LAND IN WEST NEWBURY, PROPERTY OF THOMAS W. & MARY S. COOK" DRAWN BY ESSEX SURVEY SERVICE INC. DATED 9/4/1973 AND RECORDED AT THE SOUTH ESSEX REGISTRY OF DEEDS PLAN BOOK 127 PLAN 53.
- "PLAN OF LAND IN WEST NEWBURY, MASS" DRAWN BY CHARLES W. ROY, DATED OCTOBER, 1963 AND RECORDED AT THE SOUTH ESSEX REGISTRY OF DEEDS PLAN BOOK 105 PLAN 9.
- COMPILATION MAP BY THE UNITED STATES DEPARTMENT OF THE INTERIOR FISH AND WILDLIFE SERVICE. SHEET 5 OF 5 TITLED "PARKER RIVER NATIONAL WILDLIFE REFUGE. CRANE POND DIVISION. ESSEX COUNTY, MASSACHUSETTS" RECEIVED BY THE SOUTH ESSEX REGISTRY OF DEEDS OCTOBER 20, 1958 AND RECORDED THEREWITH AS PLAN 623 OF 1958.

N/F
THE DEPT. OF FISH AND GAME OF
THE COMMONWEALTH OF
MASSACHUSETTS
MAP R7 LOT 5
BOOK 4606 PAGE 221



DETAIL A
1"=50'



DETAIL B
1"=50'

LINE #	DIRECTION	LENGTH
L1	S 08°29'03" W	3.02'
L2	S 49°51'31" E	34.94'
L3	S 26°03'29" W	20.08'
L4	S 12°53'51" W	27.50'
L5	S 02°15'39" W	6.48'
L6	S 32°22'58" W	20.08'
L7	S 16°04'50" W	21.65'
L8	N 57°21'21" W	21.77'
L9	N 53°15'41" W	27.57'
L10	N 49°24'12" W	20.97'
L11	N 55°48'41" W	15.25'
L12	N 62°17'54" W	12.95'
L13	N 51°48'07" W	54.35'
L14	N 30°32'06" E	25.00'
L15	N 59°27'54" W	39.36'

PLAN OF LAND
LOCATED IN
WEST NEWBURY, MASS.

RECORD OWNERS AND APPLICANTS
EVERGREEN FARM TRUST

114 ASH STREET
WEST NEWBURY, MASS. 01985

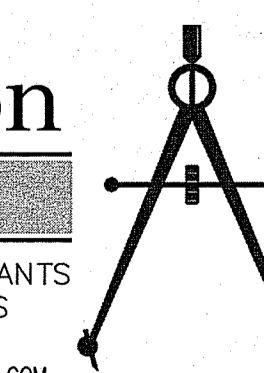
PLAN PREPARED FOR
MASS. DEPARTMENT OF FISH AND GAME
AND
ESSEX COUNTY GREENBELT ASSOCIATION



DATE: 5/13/2024 SCALE: 1"=100'

The
Morin-Cameron
GROUP, INC.

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
25 KENOZA AVE., HAVERHILL, MASSACHUSETTS 01830
P: 978-373-0310, F: 978-372-3960, W: WWW.MORINCAMERON.COM



TOWN OF WEST NEWBURY
PLANNING BOARD
West Newbury, Massachusetts

RECEIVED
TOWN CLERK
WEST NEWBURY, MA
2024 MAY - 1 PM 2:45

FORM A
APPLICATION FOR APPROVAL NOT REQUIRED PLAN

5/1/2024
Date of Filing

Submit three (3) copies of the Application with an original and four (4) copies of the plan. (Request the Town Clerk stamp two (2) Application forms and two (2) prints of the plan, keeping one set at the Town Clerk's office and filing the remainder sets with the Planning Board. See Sect. 3.1.1. for additional application procedures.)

To the Planning Board:

The undersigned, believing that the accompanying plan of property in the Town of West Newbury, Massachusetts does not constitute a subdivision within the meaning of the Subdivision Control Law, herewith submits said plan for a determination and endorsement that the Planning Board approval under the Subdivision Control Law is not required.

- Name of Applicant(s): Essex County Greenbelt Association, Inc.
Address: PO Box 1026, Essex, MA 01929
Telephone # 978-768-7241, ext. 116
- Name of Owner(s) (if other than Applicant(s)): Elizabeth Lovejoy, Trustee of Evergreen Farm Trust
Address: 51 Higgins Way, Northampton, MA 01060
Telephone # 413-297-4421
- Location and Description of Property (include Assessor's Map & Lot and Zoning
District(s)): Map 70 Lot 40, Zoning District RA (Residential-Agricultural)

- Deed Reference: Book 14815, Page 406 or Certificate of Title _____
- Name of Surveyor: The Morin-Cameron Group, Inc.
Address: 25 Kenoza Ave., Haverhill, MA 01830
Telephone: 978-373-0310
Signature(s) of Applicant(s): *Vanessa Johnson-Hall* Vanessa Johnson-Hall, Essex County Greenbelt Assoc.
Signature(s) of Owner(s): *Elizabeth Lovejoy* Elizabeth Lovejoy, Trustee, Evergreen Farm Trust
(if other than Applicant(s))

Please indicate the grounds (either 1., 2., 3. or 4., not a combination of) on which the plan should not be considered a subdivision.

1.

has all the frontage required under the Zoning By-law on:

- (1) a public way; or
- (2) a way which the Town Clerk certifies is maintained and used as a public way; or
- (3) a way shown on a plan already approved and endorsed by the Board under the Subdivision Control Law; or
- (4) a way existing before the date on which subdivision control was adopted in the Town, having, in the opinion of the Board, sufficient width, suitable grades and adequate construction to provide for the needs of vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon.

2. has been clearly marked on the plan to be either:

- (1) joined to and made part of an adjacent existing lot; or
- (2) "Not a Building Lot"; or

3. contains a building which existed prior to the date on which subdivision control was adopted in the Town; or

4. constitutes an existing parcel with no new lot division. If the lot is not being subdivided and does not contain frontage on a way, as specified above, the lot shall be clearly marked on the plans that it is "Not a Building Lot".

5. other _____

Assistant Town Clerk

Received: Town of West Newbury, Town Clerk (date stamp):

Meunell J A

Signature of Town Official Receiving this Application



**TOWN OF WEST NEWBURY
PLANNING BOARD
381 MAIN STREET
WEST NEWBURY MA 01985
978-363-1100 X125 Fax: 978-363-1119
e-mail: townplanner@wnewbury.org**

May 7, 2024

MEMORANDUM

TO: Town Departments, Boards and Committees

FROM: Sue Brown, Town Planner

REGARDING: West Newbury Scenic Road General Bylaw Article XXXII

The Planning Board has requested that this Memorandum be sent to all Town Departments, Boards and Committees as a reminder that any work you or others under your direction plan to undertake that will involve the cutting or removal of a tree or the disturbance of a stone wall within the Town's right-of-way must seek permission from the Planning Board under the Town's Scenic Road General Bylaw (XXXII).

Please note that the process for seeking the Board's permission is three to four weeks or more so determining if a Scenic Road application is needed should be an early action item in your project planning process.

The application and further information is available at [Scenic Road Permit Application | Town of West Newbury MA \(wnewbury.org\)](https://www.wnewbury.org/Scenic-Road-Permit-Application). Also feel free to contact the Town Planner at townplanner@wnewbury.org.

Overview

The West Newbury Scenic Road General Bylaw adopted in 1999 designates all roads within the town, except State Route 113, as scenic, and requires that any maintenance or construction shall not involve the cutting or removal of trees (10-inch diameter or larger) or the removal of stone walls (in whole or part) except with the prior written consent of the Planning Board after a duly advertised public hearing.

The Board will consider, among other things, public safety, scenic views, preservation of historic and regional characteristics, and preservation and enhancement of natural and aesthetic quality of the environment.

The Board's Scenic Roads Bylaw requires that the applicant submit an application and plan indicating the lot, and location and type of work to be performed including any stone wall or trees to be removed. The Applicant must also submit a certified abutters list.

On receipt of the application and plan the Board will set a date and advertise for the public hearing, notify abutters, and distribute the application and plan to the Tree Warden if the work involves the cutting or removal of a tree.

At the Scenic Road Hearing, the Board will hear testimony from the applicant and the Tree Warden as appropriate, will vote on the applicant's request (a simple majority is required), and subsequently will file the Certificate of Vote to the Town Clerk and will send the Notice of the Decision to the Applicant.

No street tree or stone wall can be disturbed until the Notice of Decision is delivered to the Applicant.

Thank you for assisting the Planning Board in preserving the history and beauty of West Newbury's roadways.



Town of West Newbury
Scenic Road
General Bylaw
XXXII

Is project/work within (in part or whole) a road right of way
(excluding route 113)
*All roads in West Newbury except route 113 are designated as
Scenic Roads.*

YES Permission May be
required under Scenic
Road Bylaw

Project involves
trimming or removal
of tree(s) in right-of-
way or disturbance of
a stone wall

NO
Scenic Road
Bylaw does
not apply

NO – Permission is NOT
required by Planning Board
under Scenic Road Bylaw.

However, if you are trimming or
removing any tree within a public
way on any street including route
113, you must receive approval by
the Town Tree Warden.

Also, please check with
Conservation Department and
Building Commissioner regarding
other potential permits required.

Tree(s) are
10" or
greater in
Diameter at
one foot
above
ground

YES

Project involves disturbance
of a stone wall

NO

YES
Proceed
with Scenic
Road
Application

NO
Check with
Town Tree
Warden (Per
MGL 87 Sec 3)

YES
Proceed
with Scenic
Road
Application

See the next Page for an
outline of the Scenic Road
Permit Application Process



Town of West Newbury
Scenic Road
General Bylaw
XXXII

*See Town Web Page 'Bylaws and Policies'
www.wnewbury.org

Pre-Application Recommendations:

- a. Read the Scenic Roads Bylaw (XXXII of Town's General Bylaws)
- b. Meet with Planning Board staff to determine if proposed project falls under the Scenic Roads Bylaw and review requirements

All roads within West Newbury except State Route 113 are designated as Scenic Roads.

Trimming or removal of any tree or shrub within all road right of ways (including Rte 113) requires Tree Warden approval per MGL Ch 87

Step 1:

- a. Submit Completed Application and Plan to Town Clerk
- b. Submit four copies and a digital copy of Application, Plan and Certified Abutters List to Planning Board Staff

Step 2: Planning Board Staff will:

- a. Set date for Public Hearing
- b. Prepare and Submit Legal Notice to Daily News to run two consecutive weeks (Applicant will be invoiced)
- c. Post Legal Notice with Town Clerk
- d. Mail Legal Notice to abutters
- e. Distribute submittal package to PB and *Tree Warden (*if work involves tree trimming or removal)

If a Shade Tree is to be trimmed or removed the Tree Warden will post the tree with the hearing notice at least seven days in advance of the hearing. The Tree Warden grants permission for public tree trimming and removal along all roads in town.

Step 3: Planning Board and/or Staff will:

- a. Hold the Public Hearing – the applicant or a representative should present project and request permission to undertake the work
- b. Vote - following consideration of testimony, including from Tree Warden as necessary
- c. File A Certificate of Vote with the Town Clerk
- d. Mail the Notice of Decision to the Applicant, Tree Warden if required, and DPW

Work cannot be performed until a Notice of Decision is received by the Applicant

If a Consolidated Hearing under MGL Ch 87 Sec 3 is required to trim or remove public trees in the right of way, the PB will coordinate with the Tree Warden on the Legal Notice, Public Hearing, and Consolidated Certificate of Vote

**Street Determination Policy and Procedures
Marshfield Planning Board**

Adopted December 19, 1994

Amended January 26, 1998

Amended January 25, 2001

Amended August 10, 2009

A. Purpose

The purpose of this policy is to set forth a procedure and standards by which a lot owner may determine whether one or more lots have frontage on a way that meets the definition of “street” in the Marshfield Zoning Bylaw. This process is called a “Street Determination.” In addition, the procedures set forth in this policy for improvements to private ways are designed to reduce the likelihood of drainage and erosion problems and ensure that improvements, when completed, result in a positive street determination.

B. Authority

A building permit may not be issued by the Building Inspector for new construction unless the lot on which the building is to be constructed has frontage on a “street” as defined in the Marshfield Zoning Bylaws.(1) For private streets not approved under the subdivision control law, the Planning Board must make a determination as to the adequacy of the way in accordance with this definition.

C. Application for a Street Determination

1. Submittal Requirements. Applicants for Street Determinations shall submit the following items to the Planning Board:
 - a. A written request for a street determination signed by the individual seeking the determination.
 - b. The name(s) of the street(s) for which a determination is being sought;
 - c. The assessor’s parcel number for the lot(s) for which a determination is being sought.
 - d. An assessor’s map or other locus map which shows adjacent streets and is sufficient to locate the street(s) and parcels(s).
 - e. An Administrative Filing Fee in the amount of two hundred fifty (\$250) dollars.

(1)A street is defined as “A way, over 24 feet in right-of-way width, which: (1) Is a public way laid out by a governmental entity or public authority pursuant to MGL or is shown as a public way on an official map adopted by the town pursuant to..Ch.41, Section 81E or has been accepted by the town as a public way; or (2) Is shown on a plan approved and endorsed in accordance with the Subdivision Rules and Regulations of Marshfield; and General Laws Ch.41, Section 81K to 81GG; or (3) has, in the opinion of the Planning Board, sufficient width, suitable grades and adequate construction to provide the needs of vehicular traffic in relation to the proposed use of the land abutting

thereon or served thereby, and for the installation of municipal services to serve such land and buildings erected or to be erected thereon.”

2. Planning Board Procedure: Upon receipt of a completed request for a Street Determination, the Planning Board will schedule the request for its next available meeting.
3. Review Standards: If the way is not a public way or a subdivision way, the Planning Board will consider the following criteria in determining whether a private way is of “sufficient width, suitable grades, and adequate construction”:
 - a. The roadway surface must be a minimum of 20’ of bituminous concrete.
 - b. The adequacy of or need for drainage along the roadway.
 - c. The number of existing and potential lots on the way.
 - d. The requirement for a 24’ right of way in the zoning bylaw.
 - e. The slope of the roadway.

The Board’s decision shall be based on the conditions that exist at the time the Street Determination is requested.

4. Decision: The Planning Board will vote to issue a positive or a negative street determination within 60 days of receipt of a completed request. The Board’s decision will be issued in writing, with reasons set forth, and a copy shall be provided to the Building Inspector.

- a. Positive Street Determination – Upon issuance of a positive street determination, applicants may be issued a building permit (assuming all other requirements of zoning are met).
- b. Negative Street Determination – The building department will not issue building permits when a negative street determination is made. In such cases, roadway improvements must be made prior to reconsideration by the Planning Board. Such improvements fall into two categories:
 - i. Applicants seeking to create new lots on private ways/paper streets must file a subdivision plan pursuant to the Subdivision Control Law and the Marshfield Subdivision Rules and Regulations.
 - ii. Applicants seeking to develop existing lots may either:
 - 1) File subsequent applications for street determinations under Section C above until a positive determination is issued; or
 - 2) Follow the optional procedure outlined in Section D below.

D. Improvements to Private Ways and Paper Streets

The Planning Board recommends that the following review and approval procedure be undertaken by those applicants seeking to improve private ways to meet the definition of a street.

1. Submittal requirements – Applicants seeking to improve private ways/paper streets shall submit the following items to the Planning Board:

- a. Street Construction Plans showing proposed improvements to the way at a scale of 1" = 40' or greater in plan and profile view signed by a registered professional engineer. Improvements must be made from the nearest "street" across the required frontage of the lot.
- b. An estimate of the number of potential lots that could be served by the way based on existing zoning if a positive street determination were issued.
- c. A five hundred dollar (\$500) check payable to the "Town of Marshfield" for administrative fees submitted to the Planning Board for deposit with the Town Treasurer.
- d. A seven hundred and fifty dollar (\$750) check payable to the "Town of Marshfield" for engineering review by the Board's consultant submitted to the Planning Board for deposit with the Town Treasurer.
- e. A certified list of all abutters to the street that is being developed. If two streets are being improved, all abutters to both streets must be notified.
- f. A statement whether or not the applicant intends to have the street accepted by the town.

Applicants may request a pre-application meeting with the Planning Board to discuss appropriate waivers and construction standards.

2. Public Hearing Requirements

- a. The Planning Board shall conduct a public hearing on the proposed improvements with notice provided at least 14 days prior in a weekly newspaper of local circulation. Applicants must pay the cost of advertising the public hearing.
- b. The Planning Board shall request comments from the Department of Public Works, Fire Chief, Safety Officer, Conservation Commission and other applicable boards.

3. Review Standards – Based on site conditions, road improvements shall generally be constructed to the following minimum standards:

- a. Pavement width shall be a minimum of 20' and shall include a 6" gravel base, a 2" base course and a 1" top course.
- b. Drainage – Depending on topography and other site conditions, curbing, catch basins or other drainage structures may be required. In all cases, appropriate provision for water run-off shall be made so that it leads into a drainage system, no water will be directed onto any abutting property and no erosion will result.
- c. Tapering – Where necessary, newly constructed segments of an unaccepted street shall be "tapered back" to provide a safe transition to the cross section of the existing ways.

4. **Decision:** Following the public hearing, the Planning Board will determine that either:
- a. The improvements are sufficient to allow the way to meet the definition of “street” upon construction, in which case the plans shall be approved.
 - b. The improvements, with modifications, are sufficient to allow the way to meet the definition of “street” upon construction, in which case the plans shall be approved with conditions.
 - c. The improvements are insufficient to allow the way to meet the definition of “street” upon construction, in which case the plans shall be denied.
 - d. The Board shall have 60 days from submission of a completed application to issue a written decision.
 - e. All decisions will be conditioned upon the applicant having the legal right to make the proposed improvements to the right of way.
5. **Completion of Improvements:**
- a. Prior to commencing construction, the applicant will be required to pay for the cost of construction oversight by the Board’s designee. Any unexpended funds will be returned to the applicant following completion of work.
 - b. After improvements are completed in accordance with approved plans and the Planning Board is so notified, the Planning Board shall issue a positive street determination for the applicable portion of the street(s) and shall notify the Building Department and the applicant in writing of its decision.



Town of Groveland
Economic Development
Planning & Conservation Department
Zoning Board of Appeals
183 Main Street
Groveland, MA 01834

Date: MAY 2, 2024

Re: Decision on Application 2024-5 for a Special Permit at 6-8 Elm Park (10-013-0), owner Compass Realty Trust, made by Rod Rivera for the use of the restaurant at the property.

On April 23, 2024, the Groveland Board of Appeals voted to grant a Special Permit (4 in favor, 0 against, 1 abstain) to approve the use of the property for a restaurant. This Special Permit was granted with conditions pursuant to Groveland Zoning Bylaws Article 14 Section 6.

The complete text of the Decision is available at the Economic Development, Planning and Conservation Department Office, 183 Main Street, Groveland, MA, aschindler@grovelandma.com, 978.556.7214.

Appeals of this decision shall be made in accordance with MGL Chapter 40A, Section 17 and shall be filed within twenty (20) days of the date of the filing of this decision with the Groveland Town Clerk.

Date of filing with the Town Clerk: May 2, 2024

YWCA Greater Newburyport Housing Choice Coalition

ywcanewburyport.org

Join us for

Housing Advocacy 101

Learn how to advocate for more housing choice
in your community

Guest Speaker Monica Keel, Citizens Housing and
Planning Association (CHAPA)

Join us in person or on ZOOM

Thursday May 30 @ 6 - 7:30PM

Salisbury Town Library, 17 Elm Street, Salisbury

ZOOM Link & RSVP

<https://bit.ly/4bdPiii>



eliminating racism
empowering women
ywca
Greater Newburyport



Town of Groveland
Economic Development
Planning & Conservation Department
Planning Board
183 Main Street
Groveland, MA 01834

Date: MAY 9, 2024

Re: Decision on an application for a SPECIAL PERMIT for A PARKING REDUCTION at 6-8 ELM PARK (10-013-0), owner Compass Realty Trust, by APPLICANT Rod Rovera for a parking reduction for the use of a restaurant and Mexican sports bar at the property.

On April 23, 2024, the Groveland Planning Board, voted to GRANT a Special Permit (4 in favor, 1 absent) to APPROVE a parking reduction for the use of a restaurant at the property. This Special Permit was granted with conditions pursuant to Groveland Zoning Bylaws Article 14 Section 6 and Article 9 Section 4.

The complete text of the Decision is available at the Economic Development, Planning and Conservation Department Office, 183 Main Street, Groveland, MA, aschindler@grovelandma.com, 978.556.7214.

Appeals of this decision shall be made in accordance with MGL Chapter 40A, Section 17 and shall be filed within twenty (20) days of the date of the filing of this decision with the Groveland Town Clerk.

Date of filing with the Town Clerk: MAY 8, 2024

Borrower	Ann Bacheller RT	File No.	230055
Property Address	23 Archelaus Pl		
City	West Newbury	County	Essex
		State	MA
		Zip Code	01985
Lender/Client	Jill Bacheller		

TABLE OF CONTENTS



Summary of Salient Features	1
GP Residential	2
Information to Determine Value by the Sales Comparison Approach, page 1	5
Information to Determine Value by the Sales Comparison Approach, page 2	6
General Text Addendum	7
Single Family Comparable Rent Schedule	8
Rentals Photos 1-3	9
MLS Rental Comps, page 1	10
MLS Rental Comps, page 2	11
West Newbury MLS Statistics	12
Zoning Map & Information (regarding subject properties), page 1	13
Zoning Map & Information (regarding subject properties), page 2	14
Building Sketch	15
Assessors Field Card, page 1	16
Assessors Field Card, page 2	17
Deed, page 1	18
Deed, page 2	19
Assessors Map 14 Lot 61	20
Location Map	21
Flood Map	22
Subject Photos	23
Photograph Addendum	24
Photograph Addendum	25
Photograph Addendum	26
Photograph Addendum	27
Photograph Addendum	28
Photograph Addendum	29
Photograph Addendum	30
Comparable Photos 1-3	31
423 Middle Street, West Newbury MLS Photos	32
114 Ash Street, West Newbury MLS Photos	33
443 Middle Street, West Newbury MLS Photos	34
GP Residential Certifications Addendum	35
USPAP Identification	37
Appraiser Qualifications	38

SUMMARY OF SALIENT FEATURES

SUBJECT INFORMATION	Subject Address	23 Archelaus Pl
	Legal Description	South Essex Registry of Deeds, Book 33354 Page 297 (www.salemdeeds.com)
	City	West Newbury
	County	Essex
	State	MA
	Zip Code	01985
	Census Tract	2631.00
	Map Reference	15764
PRICE & DATE	Contract Price	\$
	Date of Contract	
PARTIES	Borrower	Ann Bacheller RT
	Lender/Client	Jill Bacheller
DESCRIPTION OF IMPROVEMENTS	Size (Square Feet)	1,650
	Price per Square Foot	\$
	Location	Good/Back Road
	Age	61
	Condition	Average
	Total Rooms	7
	Bedrooms	3
	Baths	1.1
APPRAISER	Appraiser	Kristen-Anne Leone
	Effective Date of Appraisal	12/19/23
VALUE	Opinion of Value	\$ 1,700,000

RESIDENTIAL APPRAISAL REPORT

File No.: 230055

SUBJECT	Property Address: 23 Archelaus Pl	City: West Newbury	State: MA	Zip Code: 01985
	County: Essex	Legal Description: South Essex Registry of Deeds, Book 33354 Page 297 (www.salemdeeds.com)		
	Assessor's Parcel #: 14-61, AV \$592,284, Tax Rate \$11.03			
	Tax Year: 2023	R.E. Taxes: \$ 6,533	Special Assessments: \$ 0	Borrower (if applicable): Ann Bacheller RT

ASSIGNMENT	Current Owner of Record: Ann Bacheller RT				Occupant: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant <input type="checkbox"/> Vacant <input type="checkbox"/> Manufactured Housing
	Project Type: <input type="checkbox"/> PUD <input type="checkbox"/> Condominium <input type="checkbox"/> Cooperative <input type="checkbox"/> Other (describe)				HOA: \$ 0 <input type="checkbox"/> per year <input type="checkbox"/> per month
	Market Area Name: None		Map Reference: 15764	Census Tract: 2631.00	
	The purpose of this appraisal is to develop an opinion of: <input checked="" type="checkbox"/> Market Value (as defined), or <input type="checkbox"/> other type of value (describe)				

MARKET AREA DESCRIPTION	This report reflects the following value (if not Current, see comments): <input checked="" type="checkbox"/> Current (the Inspection Date is the Effective Date) <input type="checkbox"/> Retrospective <input type="checkbox"/> Prospective			
	Approaches developed for this appraisal: <input checked="" type="checkbox"/> Sales Comparison Approach <input checked="" type="checkbox"/> Cost Approach <input type="checkbox"/> Income Approach (See Reconciliation Comments and Scope of Work)			
	Property Rights Appraised: <input checked="" type="checkbox"/> Fee Simple <input type="checkbox"/> Leasehold <input type="checkbox"/> Leased Fee <input type="checkbox"/> Other (describe)			
	Intended Use: This report will provide the market value of the property.			

MARKET AREA DESCRIPTION	Intended User(s) (by name or type): The client and or his/her assignees.																										
	Client: Jill Bacheller		Address: 29 Archelaus Place, West Newbury, MA 01985																								
	Appraiser: Kristen-Anne Leone		Address: P.O.Box 2009, Haverhill, MA 01831-2009																								
	<table border="1"> <tr> <th>Location:</th> <td><input type="checkbox"/> Urban</td> <td><input checked="" type="checkbox"/> Suburban</td> <td><input type="checkbox"/> Rural</td> </tr> <tr> <th>Built up:</th> <td><input type="checkbox"/> Over 75%</td> <td><input checked="" type="checkbox"/> 25-75%</td> <td><input type="checkbox"/> Under 25%</td> </tr> <tr> <th>Growth rate:</th> <td><input type="checkbox"/> Rapid</td> <td><input checked="" type="checkbox"/> Stable</td> <td><input type="checkbox"/> Slow</td> </tr> <tr> <th>Property values:</th> <td><input type="checkbox"/> Increasing</td> <td><input checked="" type="checkbox"/> Stable</td> <td><input type="checkbox"/> Declining</td> </tr> <tr> <th>Demand/supply:</th> <td><input checked="" type="checkbox"/> Shortage</td> <td><input type="checkbox"/> In Balance</td> <td><input type="checkbox"/> Over Supply</td> </tr> <tr> <th>Marketing time:</th> <td><input checked="" type="checkbox"/> Under 3 Mos.</td> <td><input type="checkbox"/> 3-6 Mos.</td> <td><input type="checkbox"/> Over 6 Mos.</td> </tr> </table>				Location:	<input type="checkbox"/> Urban	<input checked="" type="checkbox"/> Suburban	<input type="checkbox"/> Rural	Built up:	<input type="checkbox"/> Over 75%	<input checked="" type="checkbox"/> 25-75%	<input type="checkbox"/> Under 25%	Growth rate:	<input type="checkbox"/> Rapid	<input checked="" type="checkbox"/> Stable	<input type="checkbox"/> Slow	Property values:	<input type="checkbox"/> Increasing	<input checked="" type="checkbox"/> Stable	<input type="checkbox"/> Declining	Demand/supply:	<input checked="" type="checkbox"/> Shortage	<input type="checkbox"/> In Balance	<input type="checkbox"/> Over Supply	Marketing time:	<input checked="" type="checkbox"/> Under 3 Mos.	<input type="checkbox"/> 3-6 Mos.
Location:	<input type="checkbox"/> Urban	<input checked="" type="checkbox"/> Suburban	<input type="checkbox"/> Rural																								
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Market Area Boundaries, Description, and Market Conditions (including support for the above characteristics and trends): Archelaus Place is a dead end road which is accessed from Stewart Street. The street is a lightly traveled back road. West Newbury is a bedroom community and many properties are located on back roads. The center of West Newbury is within a few miles. Employment districts and shopping centers are within 30 minutes in both Haverhill and Newburyport. New Hampshire is also within 30 minutes. There are no negative factors known. Other Uses: Include vacant and town owned properties

NOTE: There is a shortage of inventory which has resulted in shorter marketing times. See the attached MLS listings statistics in the addenda page which shows the year over year changes.

SITE DESCRIPTION	Dimensions: See Legal Description	Site Area: 19.16 Acres
	Zoning Classification: RB Residential (40,000 sf, 200' Frontage or 80,000 sf, 100'F)	Description: Conforming
	Are CC&Rs applicable? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown	Have the documents been reviewed? <input type="checkbox"/> Yes <input type="checkbox"/> No
	Highest & Best Use as improved: <input checked="" type="checkbox"/> Present use, or <input type="checkbox"/> Other use (explain)	Ground Rent (if applicable) \$ /

Actual Use as of Effective Date: Residential Use as appraised in this report: Residential

Summary of Highest & Best Use: Present Residential Use- The property is oversized and has extensive frontage on two roads, many owners would subdivide the property to take advantage of the maximum value.

FRONTAGE: Stewart Street: 530' frontage, Archelaus Place: 680', 251.78', & 262.38' frontage

Utilities	Public	Other	Provider/Description	Off-site Improvements	Type	Public	Private	Topography	Gentle Grade/Rolling/Typical
Electricity	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Street	Paved	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Size	19.16 acres
Gas	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Oil	Curb/Gutter	None	<input type="checkbox"/>	<input type="checkbox"/>	Shape	Irregular
Water	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Well	Sidewalk	None	<input type="checkbox"/>	<input type="checkbox"/>	Drainage	Appears Adequate
Sanitary Sewer	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Septic	Street Lights	None	<input type="checkbox"/>	<input type="checkbox"/>	View	Fields, Woods, Small Pond
Storm Sewer	<input type="checkbox"/>	<input checked="" type="checkbox"/>	None	Alley	None	<input type="checkbox"/>	<input type="checkbox"/>	Other:	Front on Archelaus & Stewart

Other site elements: <input checked="" type="checkbox"/> Inside Lot <input type="checkbox"/> Corner Lot <input type="checkbox"/> Cul de Sac <input type="checkbox"/> Underground Utilities <input checked="" type="checkbox"/> Other (describe) Potentially 5 additional residential lots	
FEMA Spec'l Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	FEMA Flood Zone X FEMA Map # 25009C0111F FEMA Map Date 7/3/2012
Site Comments: The subject property is subject to any and all easements and encroachments of record. The septic & well are typical for the area and not considered adverse. There was no seepage known. There is an inground pool. There is also a small pond on the property. The property is located on a lightly traveled back road. The property is landscaped adjacent to the improvements. There is a gravel driveway. There are no negative factors known.	

DESCRIPTION OF THE IMPROVEMENTS	General Description	Exterior Description	Foundation	Basement	Heating
	# of Units: 1 <input type="checkbox"/> Acc. Unit	Foundation: Concrete/Avg	Slab: None	Area Sq. Ft.: 720	Type: FHW
	# of Stories: 2	Exterior Walls: Vinyl Siding	Crawl Space: None	% Finished: 0	Fuel: Oil
	Type: <input checked="" type="checkbox"/> Det. <input type="checkbox"/> Att. <input type="checkbox"/>	Roof Surface: Asph Shingles	Basement: Full Basement	Ceiling: Joists	Location: Tank in Bsmt

Interior Description	Appliances	Attic <input type="checkbox"/> None	Amenities	Car Storage <input checked="" type="checkbox"/> None
Floors: Hardwood & Pine/Avg	Refrigerator: <input checked="" type="checkbox"/>	Stairs: <input type="checkbox"/>	Fireplace(s) # 1	Garage # of cars (Tot.)
Walls: Sheetrock/Avg	Range/Oven: <input checked="" type="checkbox"/>	Drop Stair: <input type="checkbox"/>	Woodstove(s) # 0	Attach. _____
Trim/Finish: Post & Beam	Disposal: <input type="checkbox"/>	Scuttle: <input checked="" type="checkbox"/>	Deck: Deck	Detach. _____
Bath Floor: Tile/Average	Dishwasher: <input checked="" type="checkbox"/>	Doorway: <input type="checkbox"/>	Porch: Porch	Blt.-In _____
Bath Wainscot: Fiberglass/Average	Fan/Hood: <input checked="" type="checkbox"/>	Floor: <input type="checkbox"/>	Fence: None	Carport _____
Doors: Raised Panel	Microwave: <input type="checkbox"/>	Heated: <input type="checkbox"/>	Pool: Inground	Driveway: X 8+ Spaces
	Washer/Dryer: <input type="checkbox"/>	Finished: <input type="checkbox"/>		Surface: Gravel

Finished area above grade contains: 7 Rooms 3 Bedrooms 1.1 Bath(s) 1,650 Square Feet of Gross Living Area Above Grade

Additional features: Back Porch, Deck, Fireplace, Inground Pool, There is a small pond on the property.

Describe the condition of the property (including physical, functional and external obsolescence): The subject is a post & beam house in average condition. The kitchen and bathrooms are modern. The houses has newer windows. There is extensive natural woodwork and a stone fireplace. The deck and porch are off the rear of the house. The interior ceiling in the mudroom and a wall in the first level bathroom are unfinished. There was seepage in the basement after heavy rains. See the interior photos which show overall quality and condition. There is an inground pool with patio. There are no other negative factors known.



RESIDENTIAL APPRAISAL REPORT

My research did did not reveal any prior sales or transfers of the subject property for the three years prior to the effective date of this appraisal.

Data Source(s): Deed is attached

1st Prior Subject Sale/Transfer	Analysis of sale/transfer history and/or any current agreement of sale/listing:	Information is self-explanatory. This was a family transfer.
Date: 6-23-2014		
Price: \$100		
Source(s): Book 33354 Page 297		
2nd Prior Subject Sale/Transfer		
Date:		
Price:		
Source(s):		

SALES COMPARISON APPROACH TO VALUE (if developed) The Sales Comparison Approach was not developed for this appraisal.

FEATURE	SUBJECT	COMPARABLE SALE # 1			COMPARABLE SALE # 2			COMPARABLE SALE # 3		
Address	23 Archelaus Pl West Newbury, MA 01985	423 Middle St West Newbury, MA 01985			114 Ash St West Newbury, MA 01985			443 Middle St West Newbury, MA 01985		
Proximity to Subject		1.75 miles E			1.16 miles S			1.67 miles E		
Sale Price	\$	\$ 1,600,000			\$ 2,000,000			\$ 1,900,000		
Sale Price/GLA	\$ /sq.ft.	\$ 1,346.80 /sq.ft.			\$ 630.32 /sq.ft.			\$ 595.05 /sq.ft.		
Data Source(s)	Interior Inspection	MLS, List \$1,600,000, DOM 69			MLS, List \$2,000,000, DOM 94			MLS, List \$1,900,000, DOM 83		
Verification Source(s)	AV \$592,284	FCard, Ext Insp, AV\$529,000			FCard, Ext Insp, AV\$718,552			FCard, Ext Insp, AV\$1,010,900		
VALUE ADJUSTMENTS	DESCRIPTION	DESCRIPTION	+(-) \$ Adjust.	DESCRIPTION	+(-) \$ Adjust.	DESCRIPTION	+(-) \$ Adjust.	DESCRIPTION	+(-) \$ Adjust.	
Sales or Financing Concessions		None Offered ACTIVE LISTING			UNDER AGREEMENT List Date 6-26-23			None Offered ACTIVE LISTING		
Date of Sale/Time	DOI 12-19-2023	List 10-18-23			UA 9-27-23			List 10-4-23		
Rights Appraised	Fee Simple	Fee Simple			Fee Simple			Fee Simple		
Location	Good/Back Road	Good/Back Road			Good/Back Road			Good/Back Road		
Site	19.16 Acres	18.3 Acres			36 Acres			10 Acres +75,000		
View	Fields,Wds,S Pnd	Neighborhood 0			Neighborhood 0			Artichoke Reserv -50,000		
Design (Style)	Colonial	Cape			Antique			Cont Ranch		
Quality of Construction	Good/Post & Beam	Inferior/Gutted +25,000			Good/Post & Beam			Good/Contemp		
Age	61	B: 1961			B: 1727			B: 1952		
Condition	Average	Inferior +15,000			Superior -25,000			Superior -25,000		
Above Grade	Total Bdrms Baths	Total Bdrms Baths		Total Bdrms Baths		Total Bdrms Baths		Total Bdrms Baths		
Room Count	7 3 1.1	6 3 1	+5,000	8 3 2	-5,000	10 3 1.3	-15,000			
Gross Living Area	1,650 sq.ft.	1,188 sq.ft. +25,400			3,173 sq.ft. -83,800			3,193 sq.ft. -84,900		
Basement & Finished Rooms Below Grade	Full Basement Unfinished	Full Basement Unfinished			Full Basement Unfinished			Partial Basement Unfinished		
Functional Utility	Adequate	Adequate			Adequate			Adequate		
Heating/Cooling	FHW/Oil/None	Electric Heat/Inf +10,000			FHW/Oil/None			FHW/Oil/None		
Energy Efficient Items	None Reported	None Reported			None Reported			None Reported		
Garage/Carport	None	None			2 Car Attached -20,000			1 Car Garage -10,000		
Porch/Patio/Deck	Porch, Deck	None 0			Patio 0			Porches & Decks 0		
Kitchen & Bathrooms	Mod Kitchen & Ba's	Gutted Kit & Bath +25,000			Mod Kitchen & Ba's			Mod Kitchen & Ba's		
Amenities/Other	1 Fireplace	1 Fireplace			5 Fireplaces 0			1 Fireplace		
Other	None	MLS: 3 Add Lots			Barns -150,000			Water Frontage -100,000		
Frontage:	1724 +/-	860' +/- (2 Parcels)			1197 Frontage			900' Frontage		
Last Sale History	\$100 6-23-2014	\$250,000 4-30-18			\$0. 5-19-1998			\$700,000 12-8-06		
Net Adjustment (Total)		<input checked="" type="checkbox"/> + <input type="checkbox"/> - \$ 105,400			<input type="checkbox"/> + <input checked="" type="checkbox"/> - \$ -283,800			<input type="checkbox"/> + <input checked="" type="checkbox"/> - \$ -209,900		
Adjusted Sale Price of Comparables		Net 6.6 % Gross 6.6 % \$ 1,705,400			Net 14.2 % Gross 14.2 % \$ 1,716,200			Net 11.0 % Gross 18.9 % \$ 1,690,100		

Summary of Sales Comparison Approach Due to the limited transactions in West Newbury, your appraiser had to exceed 1 mile for comparables. See the addenda with information on sales to determine the market value. The comparables included are active listings in West Newbury.

Comparable #1 is adjusted for inferior quality and condition. This listing is essentially a land listing. The realtor has indicated there are 4 potential lots in total which is \$400,000 per lot.

Comparable #2 is adjusted for superior condition based on MLS photos and information. Per the agent, subdivision is possible, with frontage 5 lots would be possible which also supports \$400,000 per lot.

Comparable #3 is adjusted for a smaller parcel size and superior view and water frontage of the of the reservoir. Based on frontage, there are 4 potential lots or \$475,000.

Adjustments: \$5000/Half bathroom, \$10000/Bathroom, \$5000/AC, \$20,000/2 Car Garage, \$55/sf GLA Adjustment. All comparables are considered in the value.

Additional Supporting Information: Seller: Rogers
430 Middle Street, West Newbury, \$700,000 11-21-23 (Map 27-27 and 27C)
Map 27-28, Middle Street, Backland, 38.26 acres, \$985,000 3-31-21
Total Income to the seller \$1,685,000. Supports the indicated value by the current listings.

The addenda pages in the report support a value of \$2,100,000 to \$2,500,000 depending on 5 or 6 lots in total. See the addenda for sales of both similar house properties and building lots.

Indicated Value by Sales Comparison Approach \$ 1,700,000



RESIDENTIAL APPRAISAL REPORT

File No.: 230055

SUBJECT	Property Address: 23 Archelaus Pl	City: West Newbury	State: MA	Zip Code: 01985
	County: Essex	Legal Description: South Essex Registry of Deeds, Book 33354 Page 297 (www.salemdeeds.com)		
	Assessor's Parcel #: 14-61, AV \$592,284, Tax Rate \$11.03			
	Tax Year: 2023	R.E. Taxes: \$ 6,533	Special Assessments: \$ 0	Borrower (if applicable): Ann Bacheller RT

ASSIGNMENT	Current Owner of Record: Ann Bacheller RT		Occupant: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant <input type="checkbox"/> Vacant <input type="checkbox"/> Manufactured Housing
	Project Type: <input type="checkbox"/> PUD <input type="checkbox"/> Condominium <input type="checkbox"/> Cooperative <input type="checkbox"/> Other (describe)		HOA: \$ 0 <input type="checkbox"/> per year <input type="checkbox"/> per month
	Market Area Name: None		Map Reference: 15764
			Census Tract: 2631.00

MARKET AREA DESCRIPTION	The purpose of this appraisal is to develop an opinion of: <input checked="" type="checkbox"/> Market Value (as defined), or <input type="checkbox"/> other type of value (describe)	
	This report reflects the following value (if not Current, see comments): <input checked="" type="checkbox"/> Current (the Inspection Date is the Effective Date) <input type="checkbox"/> Retrospective <input type="checkbox"/> Prospective	
	Approaches developed for this appraisal: <input checked="" type="checkbox"/> Sales Comparison Approach <input checked="" type="checkbox"/> Cost Approach <input type="checkbox"/> Income Approach (See Reconciliation Comments and Scope of Work)	
	Property Rights Appraised: <input checked="" type="checkbox"/> Fee Simple <input type="checkbox"/> Leasehold <input type="checkbox"/> Leased Fee <input type="checkbox"/> Other (describe)	

Intended Use: This report will provide the market value of the property.

Intended User(s) (by name or type): The client and or his/her assignees.

Client: Jill Bacheller Address: 29 Archelaus Place, West Newbury, MA 01985

Appraiser: Kristen-Anne Leone Address: P.O.Box 2009, Haverhill, MA 01831-2009

Location: <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural	Predominant Occupancy	One-Unit Housing		Present Land Use		Change in Land Use
Built up: <input type="checkbox"/> Over 75% <input checked="" type="checkbox"/> 25-75% <input type="checkbox"/> Under 25%		PRICE (\$000)	AGE (yrs)	One-Unit	60 %	
Growth rate: <input type="checkbox"/> Rapid <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Slow	<input checked="" type="checkbox"/> Owner	500	Low	20	2-4 Unit	5 %
Property values: <input type="checkbox"/> Increasing <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Declining	<input type="checkbox"/> Tenant	2,000	High	150	Multi-Unit	0 %
Demand/supply: <input checked="" type="checkbox"/> Shortage <input type="checkbox"/> In Balance <input type="checkbox"/> Over Supply	<input checked="" type="checkbox"/> Vacant (0-5%)	700	Pred	50	Comm'l	0 %
Marketing time: <input checked="" type="checkbox"/> Under 3 Mos. <input type="checkbox"/> 3-6 Mos. <input type="checkbox"/> Over 6 Mos.	<input type="checkbox"/> Vacant (>5%)				Other	35 %

Market Area Boundaries, Description, and Market Conditions (including support for the above characteristics and trends): Archelaus Place is a dead end road which is accessed from Stewart Street. The street is a lightly traveled back road. West Newbury is a bedroom community and many properties are located on back roads. The center of West Newbury is within a few miles. Employment districts and shopping centers are within 30 minutes in both Haverhill and Newburyport. New Hampshire is also within 30 minutes. There are no negative factors known.

Other Uses: Include vacant and town owned properties

NOTE: There is a shortage of inventory which has resulted in shorter marketing times. See the attached MLS listings statistics in the addenda page which shows the year over year changes.

SITE DESCRIPTION	Dimensions: See Legal Description	Site Area: 19.16 Acres
	Zoning Classification: RB Residential (40,000 sf, 200' Frontage or 80,000 sf, 100'F)	Description: Conforming
	Zoning Compliance: <input checked="" type="checkbox"/> Legal <input type="checkbox"/> Legal nonconforming (grandfathered) <input type="checkbox"/> Illegal <input type="checkbox"/> No zoning	
	Are CC&Rs applicable? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown	Have the documents been reviewed? <input type="checkbox"/> Yes <input type="checkbox"/> No

Highest & Best Use as improved: Present use, or Other use (explain)

Actual Use as of Effective Date: Residential Use as appraised in this report: Residential

Summary of Highest & Best Use: Present Residential Use- The property is oversized and has extensive frontage on two roads, many owners would subdivide the property to take advantage of the maximum value.

FRONTAGE: Stewart Street: 530' frontage, Archelaus Place: 680', 251.78', & 262.38' frontage

Utilities	Public	Other	Provider/Description	Off-site Improvements	Type	Public	Private	Topography	Gentle Grade/Rolling/Typical
Electricity	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Street	Paved	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Size	19.16 acres
Gas	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Oil	Curb/Gutter	None	<input type="checkbox"/>	<input type="checkbox"/>	Shape	Irregular
Water	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Well	Sidewalk	None	<input type="checkbox"/>	<input type="checkbox"/>	Drainage	Appears Adequate
Sanitary Sewer	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Septic	Street Lights	None	<input type="checkbox"/>	<input type="checkbox"/>	View	Fields, Woods, Small Pond
Storm Sewer	<input type="checkbox"/>	<input checked="" type="checkbox"/>	None	Alley	None	<input type="checkbox"/>	<input type="checkbox"/>	Other:	Front on Archelaus & Stewart

Other site elements: Inside Lot Corner Lot Cul de Sac Underground Utilities Other (describe) **Potentially 5 additional residential lots**

FEMA Spec'l Flood Hazard Area Yes No FEMA Flood Zone X FEMA Map # 25009C0111F FEMA Map Date 7/3/2012

Site Comments: The subject property is subject to any and all easements and encroachments of record. The septic & well are typical for the area and not considered adverse. There was no seepage known. There is an inground pool. There is also a small pond on the property. The property is located on a lightly traveled back road. The property is landscaped adjacent to the improvements. There is a gravel driveway. There are no negative factors known.

DESCRIPTION OF THE IMPROVEMENTS	General Description	Exterior Description	Foundation	Basement	<input type="checkbox"/> None	Heating
	# of Units 1 <input type="checkbox"/> Acc. Unit	Foundation Concrete/Avg	Slab None	Area Sq. Ft. 720		Type FHW
	# of Stories 2	Exterior Walls Vinyl Siding	Crawl Space None	% Finished 0		Fuel Oil
	Type <input checked="" type="checkbox"/> Det. <input type="checkbox"/> Att. <input type="checkbox"/>	Roof Surface Asph Shingles	Basement Full Basement	Ceiling Joists		Location Tank in Bsmt

DESCRIPTION OF THE IMPROVEMENTS	Interior Description	Appliances	Attic <input type="checkbox"/> None	Amenities	Car Storage <input checked="" type="checkbox"/> None
	Floors Hardwood & Pine/Avg	Refrigerator <input checked="" type="checkbox"/>	Stairs <input type="checkbox"/>	Fireplace(s) # 1	Garage # of cars (Tot.)
	Walls Sheetrock/Avg	Range/Oven <input checked="" type="checkbox"/>	Drop Stair <input type="checkbox"/>	Woodstove(s) # 0	Attach. _____
	Trim/Finish Post & Beam	Disposal <input type="checkbox"/>	Scuttle <input checked="" type="checkbox"/>	Deck Deck	Detach. _____

Finished area above grade contains: 7 Rooms 3 Bedrooms 1.1 Bath(s) 1,650 Square Feet of Gross Living Area Above Grade

Additional features: Back Porch, Deck, Fireplace, Inground Pool, There is a small pond on the property.

Describe the condition of the property (including physical, functional and external obsolescence): The subject is a post & beam house in average condition. The kitchen and bathrooms are modern. The houses has newer windows. There is extensive natural woodwork and a stone fireplace. The deck and porch are off the rear of the house. The interior ceiling in the mudroom and a wall in the first level bathroom are unfinished. There was seepage in the basement after heavy rains. See the interior photos which show overall quality and condition. There is an inground pool with patio. There are no other negative factors known.

RESIDENTIAL APPRAISAL REPORT

My research did did not reveal any prior sales or transfers of the subject property for the three years prior to the effective date of this appraisal.

Data Source(s): Deed is attached

1st Prior Subject Sale/Transfer	Analysis of sale/transfer history and/or any current agreement of sale/listing:	Information is self-explanatory. This was a family transfer.
Date: 6-23-2014		
Price: \$100		
Source(s): Book 33354 Page 297		
2nd Prior Subject Sale/Transfer		
Date:		
Price:		
Source(s):		

SALES COMPARISON APPROACH TO VALUE (if developed) The Sales Comparison Approach was not developed for this appraisal.

FEATURE	SUBJECT	COMPARABLE SALE # 1			COMPARABLE SALE # 2			COMPARABLE SALE # 3		
Address	23 Archelaus Pl West Newbury, MA 01985	423 Middle St West Newbury, MA 01985			114 Ash St West Newbury, MA 01985			443 Middle St West Newbury, MA 01985		
Proximity to Subject		1.75 miles E			1.16 miles S			1.67 miles E		
Sale Price	\$	\$ 1,600,000			\$ 2,000,000			\$ 1,900,000		
Sale Price/GLA	\$ /sq.ft.	\$ 1,346.80 /sq.ft.			\$ 630.32 /sq.ft.			\$ 595.05 /sq.ft.		
Data Source(s)	Interior Inspection	MLS, List \$1,600,000, DOM 69			MLS, List \$2,000,000, DOM 94			MLS, List \$1,900,000, DOM 83		
Verification Source(s)	AV \$592,284	FCard, Ext Insp, AV\$529,000			FCard, Ext Insp, AV\$718,552			FCard, Ext Insp, AV\$1,010,900		
VALUE ADJUSTMENTS	DESCRIPTION	DESCRIPTION	+(-) \$ Adjust.	DESCRIPTION	+(-) \$ Adjust.	DESCRIPTION	+(-) \$ Adjust.	DESCRIPTION	+(-) \$ Adjust.	
Sales or Financing Concessions		None Offered ACTIVE LISTING			UNDER AGREEMENT List Date 6-26-23			None Offered ACTIVE LISTING		
Date of Sale/Time	DOI 12-19-2023	List 10-18-23			UA 9-27-23			List 10-4-23		
Rights Appraised	Fee Simple	Fee Simple			Fee Simple			Fee Simple		
Location	Good/Back Road	Good/Back Road			Good/Back Road			Good/Back Road		
Site	19.16 Acres	18.3 Acres			36 Acres			10 Acres +75,000		
View	Fields,Wds,S Pnd	Neighborhood 0			Neighborhood 0			Artichoke Reserv -50,000		
Design (Style)	Colonial	Cape			Antique			Cont Ranch		
Quality of Construction	Good/Post & Beam	Inferior/Gutted +25,000			Good/Post & Beam			Good/Contemp		
Age	61	B: 1961			B: 1727			B: 1952		
Condition	Average	Inferior +15,000			Superior -25,000			Superior -25,000		
Above Grade	Total Bdrms Baths	Total Bdrms Baths		Total Bdrms Baths		Total Bdrms Baths		Total Bdrms Baths		
Room Count	7 3 1.1	6 3 1	+5,000	8 3 2	-5,000	10 3 1.3	-15,000			
Gross Living Area	1,650 sq.ft.	1,188 sq.ft. +25,400			3,173 sq.ft. -83,800			3,193 sq.ft. -84,900		
Basement & Finished Rooms Below Grade	Full Basement Unfinished	Full Basement Unfinished			Full Basement Unfinished			Partial Basement Unfinished		
Functional Utility	Adequate	Adequate			Adequate			Adequate		
Heating/Cooling	FHW/Oil/None	Electric Heat/Inf +10,000			FHW/Oil/None			FHW/Oil/None		
Energy Efficient Items	None Reported	None Reported			None Reported			None Reported		
Garage/Carport	None	None			2 Car Attached -20,000			1 Car Garage -10,000		
Porch/Patio/Deck	Porch, Deck	None 0			Patio 0			Porches & Decks 0		
Kitchen & Bathrooms	Mod Kitchen & Ba's	Gutted Kit & Bath +25,000			Mod Kitchen & Ba's			Mod Kitchen & Ba's		
Amenities/Other	1 Fireplace	1 Fireplace			5 Fireplaces 0			1 Fireplace		
Other	None	MLS: 3 Add Lots			Barns -150,000			Water Frontage -100,000		
Frontage:	1724 +/-	860' +/- (2 Parcels)			1197 Frontage			900' Frontage		
Last Sale History	\$100 6-23-2014	\$250,000 4-30-18			\$0. 5-19-1998			\$700,000 12-8-06		
Net Adjustment (Total)		<input checked="" type="checkbox"/> + <input type="checkbox"/> - \$ 105,400			<input type="checkbox"/> + <input checked="" type="checkbox"/> - \$ -283,800			<input type="checkbox"/> + <input checked="" type="checkbox"/> - \$ -209,900		
Adjusted Sale Price of Comparables		Net 6.6 % Gross 6.6 % \$ 1,705,400			Net 14.2 % Gross 14.2 % \$ 1,716,200			Net 11.0 % Gross 18.9 % \$ 1,690,100		

Summary of Sales Comparison Approach Due to the limited transactions in West Newbury, your appraiser had to exceed 1 mile for comparables. See the addenda with information on sales to determine the market value. The comparables included are active listings in West Newbury.

Comparable #1 is adjusted for inferior quality and condition. This listing is essentially a land listing. The realtor has indicated there are 4 potential lots in total which is \$400,000 per lot.

Comparable #2 is adjusted for superior condition based on MLS photos and information. Per the agent, subdivision is possible, with frontage 5 lots would be possible which also supports \$400,000 per lot.

Comparable #3 is adjusted for a smaller parcel size and superior view and water frontage of the of the reservoir. Based on frontage, there are 4 potential lots or \$475,000.

Adjustments: \$5000/Half bathroom, \$10000/Bathroom, \$5000/AC, \$20,000/2 Car Garage, \$55/sf GLA Adjustment. All comparables are considered in the value.

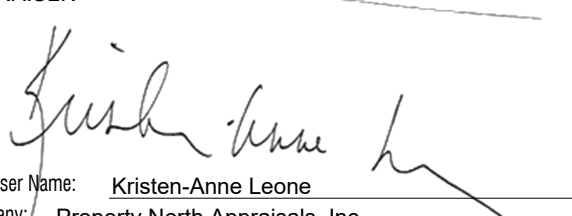
Additional Supporting Information: Seller: Rogers
430 Middle Street, West Newbury, \$700,000 11-21-23 (Map 27-27 and 27C)
Map 27-28, Middle Street, Backland, 38.26 acres, \$985,000 3-31-21
Total Income to the seller \$1,685,000. Supports the indicated value by the current listings.

The addenda pages in the report support a value of \$2,100,000 to \$2,500,000 depending on 5 or 6 lots in total. See the addenda for sales of both similar house properties and building lots.

Indicated Value by Sales Comparison Approach \$	1,700,000
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RESIDENTIAL APPRAISAL REPORT

COST APPROACH	COST APPROACH TO VALUE (if developed) <input type="checkbox"/> The Cost Approach was not developed for this appraisal.	
	Provide adequate information for replication of the following cost figures and calculations.	
	Support for the opinion of site value (summary of comparable land sales or other methods for estimating site value): There are no good comparable sales.	
	Value is based on knowledge of the area and appraiser files. The land to value ratio exceeds 30% which is common for the area. Your appraiser is estimating a value based on knowledge of the area. Assessors Land Value: \$353,400.	
	ESTIMATED <input checked="" type="checkbox"/> REPRODUCTION OR <input type="checkbox"/> REPLACEMENT COST NEW	OPINION OF SITE VALUE = \$ 1,600,000
	Source of cost data: Office Files & Builders Contracts	DWELLING 1,650 Sq.Ft. @ \$ 165.00 = \$ 272,250
	Quality rating from cost service: Average Effective date of cost data: Dec 2023	Bsmt 720 Sq.Ft. @ \$ 15.00 = \$ 10,800
	Comments on Cost Approach (gross living area calculations, depreciation, etc.):	Sq.Ft. @ \$ = \$
	Total GLA 1650 sf, See attached sketch pages.	Sq.Ft. @ \$ = \$
	Replacement costs are based on the Marshall and Swift Cost handbook as well as supported by local builders costs for the area. The physical depreciation is based on the age/life method. There is no external or functional depreciation known.	Sq.Ft. @ \$ = \$
	Inground Pool = \$ 45,000	
	Garage/Carport Sq.Ft. @ \$ = \$	
	Total Estimate of Cost-New = \$ 328,050	
	Less Physical Functional External	
	Depreciation 82,013 = \$(82,013)	
	Depreciated Cost of Improvements = \$ 246,037	
	"As-is" Value of Site Improvements = \$ 50,000	
 = \$	
 = \$	
Estimated Remaining Economic Life (if required): 45 Years	INDICATED VALUE BY COST APPROACH = \$ 1,896,037	
INCOME APPROACH	INCOME APPROACH TO VALUE (if developed) <input checked="" type="checkbox"/> The Income Approach was not developed for this appraisal.	
	Estimated Monthly Market Rent \$ 3,600 X Gross Rent Multiplier 140 = \$ 504,000	Indicated Value by Income Approach
	Summary of Income Approach (including support for market rent and GRM): The income approach is for the house and improvement only, it does not represent renting any of the excess land.	
PUD	PROJECT INFORMATION FOR PUDs (if applicable) <input type="checkbox"/> The Subject is part of a Planned Unit Development.	
	Legal Name of Project:	
	Describe common elements and recreational facilities:	
RECONCILIATION	Indicated Value by: Sales Comparison Approach \$ 1,700,000 Cost Approach (if developed) \$ 1,896,037 Income Approach (if developed) \$ 504,000	
	Final Reconciliation The Sales Comparison Approach and Cost Approach indicates a range from \$1,700,000 to \$1,896,037. The Income Approach is not considered applicable for the entire property, only for the house and improvements. See the attached addenda with scope and disclosure. The indicated marketing and exposure time is within 3-6 months.	
	This appraisal is made <input checked="" type="checkbox"/> "as is", <input type="checkbox"/> subject to completion per plans and specifications on the basis of a Hypothetical Condition that the improvements have been completed, <input type="checkbox"/> subject to the following repairs or alterations on the basis of a Hypothetical Condition that the repairs or alterations have been completed, <input type="checkbox"/> subject to the following required inspection based on the Extraordinary Assumption that the condition or deficiency does not require alteration or repair: This appraisal is made "as is" based on the condition of the subject at the time of inspection as indicated below.	
	<input checked="" type="checkbox"/> This report is also subject to other Hypothetical Conditions and/or Extraordinary Assumptions as specified in the attached addenda.	
	Based on the degree of inspection of the subject property, as indicated below, defined Scope of Work, Statement of Assumptions and Limiting Conditions, and Appraiser's Certifications, my (our) Opinion of the Market Value (or other specified value type), as defined herein, of the real property that is the subject of this report is: \$ 1,700,000 , as of: 12/19/23 , which is the effective date of this appraisal. If indicated above, this Opinion of Value is subject to Hypothetical Conditions and/or Extraordinary Assumptions included in this report. See attached addenda.	
ATTACHMENTS	A true and complete copy of this report contains 38 pages, including exhibits which are considered an integral part of the report. This appraisal report may not be properly understood without reference to the information contained in the complete report.	
	Attached Exhibits:	
	<input checked="" type="checkbox"/> Scope of Work <input checked="" type="checkbox"/> Limiting Cond./Certifications <input type="checkbox"/> Narrative Addendum <input checked="" type="checkbox"/> Photograph Addenda <input checked="" type="checkbox"/> Sketch Addendum <input checked="" type="checkbox"/> Map Addenda <input type="checkbox"/> Additional Sales <input type="checkbox"/> Cost Addendum <input checked="" type="checkbox"/> Flood Addendum <input type="checkbox"/> Manuf. House Addendum <input type="checkbox"/> Hypothetical Conditions <input type="checkbox"/> Extraordinary Assumptions <input type="checkbox"/> Extraordinary Assumptions <input checked="" type="checkbox"/> Nb Listings & Land Listings <input checked="" type="checkbox"/> Deed, Plot Plan	
SIGNATURES	Client Contact: Jill Bacheller Client Name: Jill Bacheller	
	E-Mail: jbacheller@outlook.com Address: 29 Archelaus Place, West Newbury, MA 01985	
	APPRAISER	
	 Appraiser Name: Kristen-Anne Leone Company: Property North Appraisals, Inc Phone: (978) 521-6900 Fax: (978) 945-1062 E-Mail: PropertyNorthAppraisals@Gmail.com Date of Report (Signature): 01/03/2024 License or Certification #: 1291 CG State: MA Designation: Expiration Date of License or Certification: 09/23/2025 Inspection of Subject: <input checked="" type="checkbox"/> Interior & Exterior <input type="checkbox"/> Exterior Only <input type="checkbox"/> None Date of Inspection: 12/19/23	
	SUPERVISORY APPRAISER (if required) or CO-APPRAISER (if applicable) Supervisory or Co-Appraiser Name: _____ Company: _____ Phone: _____ Fax: _____ E-Mail: _____ Date of Report (Signature): _____ License or Certification #: _____ State: _____ Designation: _____ Expiration Date of License or Certification: _____ Inspection of Subject: <input type="checkbox"/> Interior & Exterior <input type="checkbox"/> Exterior Only <input type="checkbox"/> None Date of Inspection: _____	

RESIDENTIAL APPRAISAL REPORT

COST APPROACH TO VALUE (if developed) The Cost Approach was not developed for this appraisal.

Provide adequate information for replication of the following cost figures and calculations.

Support for the opinion of site value (summary of comparable land sales or other methods for estimating site value): There are no good comparable sales.

Value is based on knowledge of the area and appraiser files. The land to value ratio exceeds 30% which is common for the area. Your appraiser is estimating a value based on knowledge of the area. Assessors Land Value: \$353,400.

ESTIMATED <input checked="" type="checkbox"/> REPRODUCTION OR <input type="checkbox"/> REPLACEMENT COST NEW	OPINION OF SITE VALUE	= \$	1,600,000
Source of cost data: <u>Office Files & Builders Contracts</u>	DWELLING	1,650 Sq.Ft. @ \$	165.00 = \$ 272,250
Quality rating from cost service: <u>Average</u> Effective date of cost data: <u>Dec 2023</u>	Bsmt	720 Sq.Ft. @ \$	15.00 = \$ 10,800
Comments on Cost Approach (gross living area calculations, depreciation, etc.):		Sq.Ft. @ \$	= \$
Total GLA 1650 sf, See attached sketch pages.		Sq.Ft. @ \$	= \$
Replacement costs are based on the Marshall and Swift Cost handbook as well as supported by local builders costs for the area. The physical depreciation is based on the age/life method. There is no external or functional depreciation known.	Inground Pool		= \$ 45,000
	Garage/Carport	Sq.Ft. @ \$	= \$
	Total Estimate of Cost-New		= \$ 328,050
	Less Physical	Functional	External
	Depreciation	82,013	= \$(82,013)
	Depreciated Cost of Improvements		= \$ 246,037
	"As-is" Value of Site Improvements		= \$ 50,000
			= \$
			= \$
Estimated Remaining Economic Life (if required): <u>45 Years</u>	INDICATED VALUE BY COST APPROACH		= \$ 1,896,037

INCOME APPROACH TO VALUE (if developed) The Income Approach was not developed for this appraisal.

Estimated Monthly Market Rent \$ 3,600 X Gross Rent Multiplier 140 = \$ 504,000 **Indicated Value by Income Approach**

Summary of Income Approach (including support for market rent and GRM): The income approach is for the house and improvement only, it does not represent renting any of the excess land.

PROJECT INFORMATION FOR PUDs (if applicable) The Subject is part of a Planned Unit Development.

Legal Name of Project: _____

Describe common elements and recreational facilities: _____

Indicated Value by: Sales Comparison Approach \$ 1,700,000 Cost Approach (if developed) \$ 1,896,037 Income Approach (if developed) \$ 504,000

Final Reconciliation The Sales Comparison Approach and Cost Approach indicates a range from \$1,700,000 to \$1,896,037. The Income Approach is not considered applicable for the entire property, only for the house and improvements. See the attached addenda with scope and disclosure. The indicated marketing and exposure time is within 3-6 months.

This appraisal is made "as is", subject to completion per plans and specifications on the basis of a Hypothetical Condition that the improvements have been completed, subject to the following repairs or alterations on the basis of a Hypothetical Condition that the repairs or alterations have been completed, subject to the following required inspection based on the Extraordinary Assumption that the condition or deficiency does not require alteration or repair: This appraisal is made "as is" based on the condition of the subject at the time of inspection as indicated below.

This report is also subject to other Hypothetical Conditions and/or Extraordinary Assumptions as specified in the attached addenda.

Based on the degree of inspection of the subject property, as indicated below, defined Scope of Work, Statement of Assumptions and Limiting Conditions, and Appraiser's Certifications, my (our) Opinion of the Market Value (or other specified value type), as defined herein, of the real property that is the subject of this report is: \$ 1,700,000, as of: 12/19/23, which is the effective date of this appraisal. If indicated above, this Opinion of Value is subject to Hypothetical Conditions and/or Extraordinary Assumptions included in this report. See attached addenda.

A true and complete copy of this report contains 38 pages, including exhibits which are considered an integral part of the report. This appraisal report may not be properly understood without reference to the information contained in the complete report.

Attached Exhibits:

<input checked="" type="checkbox"/> Scope of Work	<input checked="" type="checkbox"/> Limiting Cond./Certifications	<input type="checkbox"/> Narrative Addendum	<input checked="" type="checkbox"/> Photograph Addenda	<input checked="" type="checkbox"/> Sketch Addendum
<input checked="" type="checkbox"/> Map Addenda	<input type="checkbox"/> Additional Sales	<input type="checkbox"/> Cost Addendum	<input checked="" type="checkbox"/> Flood Addendum	<input type="checkbox"/> Manuf. House Addendum
<input type="checkbox"/> Hypothetical Conditions	<input type="checkbox"/> Extraordinary Assumptions	<input type="checkbox"/> Extraordinary Assumptions	<input checked="" type="checkbox"/> Nb Listings & Land Listings	<input checked="" type="checkbox"/> Deed, Plot Plan

Client Contact: Jill Bacheller Client Name: Jill Bacheller

E-Mail: jbacheller@outlook.com Address: 29 Archelaus Place, West Newbury, MA 01985

APPRAISER

Kristen-Anne Leone

Appraiser Name: Kristen-Anne Leone

Company: Property North Appraisals, Inc

Phone: (978) 521-6900 Fax: (978) 945-1062

E-Mail: PropertyNorthAppraisals@Gmail.com

Date of Report (Signature): 01/03/2024

License or Certification #: 1291 CG State: MA

Designation: _____

Expiration Date of License or Certification: 09/23/2025

Inspection of Subject: Interior & Exterior Exterior Only None

Date of Inspection: 12/19/23

SUPERVISORY APPRAISER (if required) or CO-APPRAISER (if applicable)

Supervisory or Co-Appraiser Name: _____

Company: _____

Phone: _____ Fax: _____

E-Mail: _____

Date of Report (Signature): _____

License or Certification #: _____ State: _____

Designation: _____

Expiration Date of License or Certification: _____

Inspection of Subject: Interior & Exterior Exterior Only None

Date of Inspection: _____

Information to Determine Value by the Sales Comparison Approach, page 2

Borrower	Ann Bacheller RT			
Property Address	23 Archelaus Pl			
City	West Newbury	County Essex	State MA	Zip Code 01985
Lender/Client	Jill Bacheller			

Land Sales and Listings in West Newbury

Property Type(s): **LD**
 Status: **NEW, ACT, PCG, BOM, EXT, RAC, CTG, UAG, SLD** Price:
 Timeframe: **2022+**
 Towns: **West Newbury, MA**

Land Listings

<p style="text-align: center;">MLS #: 73017872 Status: SLD 154 Middle Street West Newbury, MA 01985</p> <p style="text-align: center;">List Price: \$409,999 Sale Price: \$415,000 List Date: 07/27/2022 DOM: 13 DTO: 3 Sale Date: 09/12/2022 Off-Market Date: 07/30/2022</p> <p style="text-align: center;">Type: Residential Lot Size: 1.81 Acres (78,843 SqFt) Road Type: Public Zoning/Use: RB/ Single Family Improvements: Lot Desc: Farmland, Scenic View(s) Area Amenities:</p> <p style="text-align: center;">Docs on Hand: Perc Test, Septic Design Water: Private Sewer: Private Gas: None Electric: At Street Waterfront Features: Beach Description: FY: 2022 Assessment: \$357,403 Taxes: \$3,956</p>	<p style="text-align: center;">MLS #: 72951704 Status: SLD 152 Middle Street West Newbury, MA 01985</p> <p style="text-align: center;">List Price: \$399,900 Sale Price: \$410,000 List Date: 03/10/2022 DOM: 15 DTO: 1 Sale Date: 04/15/2022 Off-Market Date: 03/25/2022</p> <p style="text-align: center;">Type: Residential Lot Size: 1.57 Acres (68,389 SqFt) Road Type: Public Zoning/Use: RB/ Single Family Improvements: Lot Desc: Farmland, Scenic View(s) Area Amenities:</p> <p style="text-align: center;">Docs on Hand: Septic Design Water: Private Sewer: Private Gas: None Electric: At Street Waterfront Features: Beach Description: FY: 2022 Assessment: \$302,700 Taxes: \$3,956</p>	<p style="text-align: center;">MLS #: 73063685 Status: SLD 6 Norino Dr West Newbury, MA 01985</p> <p style="text-align: center;">List Price: \$399,000 Sale Price: \$399,000 List Date: 12/07/2022 DOM: 148 DTO: 148 Sale Date: 05/30/2023 Off-Market Date: 05/04/2023</p> <p style="text-align: center;">Type: Residential Lot Size: 2.42 Acres (105,415 SqFt) Road Type: Public Zoning/Use: RC/ Single Family Improvements: Lot Desc: Level, Wooded Area Amenities: Public Transportation, Shopping, Park, G.</p> <p style="text-align: center;">Docs on Hand: Septic Design, Other (See Remarks) Water: Public Sewer: Private Gas: None Electric: At Street Waterfront Features: Beach Description: FY: 2018 Assessment: \$286,500 Taxes: \$3,890</p>
<p style="text-align: center;">MLS #: 73173935 Status: ACT 12 Steed Ave West Newbury, MA 01985</p> <p style="text-align: center;">List Price: \$350,000 List Date: 10/25/2023 DOM: 70</p> <p style="text-align: center;">Type: Residential Lot Size: 0.64 Acres (27921.96 SqFt) Road Type: Public, Paved, Publicly Maint., Sidewalk Zoning/Use: RC/ Single Family, Multi-Family Improvements: Storm Drains, Sidewalks Lot Desc: Level, Cleared, Gentle Slope, Scenic Vie. Area Amenities: Public Transportation, Shopping, Walk/Jo.</p> <p style="text-align: center;">Docs on Hand: Perc Test, Topographical Map, Appraisal Water: Public Sewer: Private Gas: None Electric: At Street Waterfront Features: Beach Description: FY: 2023 Assessment: \$463,100 Taxes: \$5,108</p>	<p style="text-align: center;">MLS #: 73150135 Status: ACT Lot 5 0 Wilsley Hill Rd West Newbury, MA 01985</p> <p style="text-align: center;">List Price: \$499,900 List Date: 08/18/2023 DOM: 137</p> <p style="text-align: center;">Type: Residential Lot Size: 4.75 Acres (206,910 SqFt) Road Type: Zoning/Use: RA/ Single Family Improvements: Lot Desc: Wooded Area Amenities:</p> <p style="text-align: center;">Docs on Hand: Water: Private Sewer: Private Gas: Nearby Electric: Nearby Waterfront Features: Beach Description: FY: 2023 Assessment: \$392,000 Taxes: \$4,324</p>	

Land Listings: 5 Median List \$: \$399,900 Median DOM: 70 Median DTO: 3 Median Sale \$: \$410,000

The information in this listing was gathered from third party sources including the seller and public records. MLS Property Information Network and its subscribers disclaim any and all representations or warranties as to the accuracy of this information. Content © MLS Property Information Network, Inc.

A value of \$400,000 is estimated for each of the building lots.

Application:

1 parcel with the House & Improvements:	\$ 500,000
5 Building lots \$400,000 * 5:	<u>\$2,000,000</u>
Total Indicated Value:	\$2,500,000

This does not include any legal and/or engineering fees which should not exceed 5% (125,000).

A conservative value would be:

1 parcel with the House & Improvements:	\$ 500,000
4 Building lots \$400,000 * 5:	<u>\$1,600,000</u>
Total Indicated Value:	\$2,100,000

INVOICE

FROM:

Property North Appraisals, Inc
 Property North Appraisals, Inc
 P.O.Box 2009
 Haverhill, MA 01831

Telephone Number: (978) 521-6900 Fax Number: (978) 945-1062

TO:

Jill Bacheller
 29 Archelaus Place
 West Newbury, MA 01985

E-Mail: jbacheller@outlook.com
 Telephone Number: 978-873-0110 Fax Number:
 Alternate Number:

INVOICE NUMBER	
230055	
DATES	
Invoice Date:	12-31-23
Due Date:	
REFERENCE	
Internal Order #:	230055
Lender Case #:	
Client File #:	
FHA/VA Case #:	
Main File # on form:	230055
Other File # on form:	PNA, Inc 978-521-6900
Federal Tax ID:	04-3066539
Employer ID:	

Ordered by Jill

Date of Order: 12-2023
 Date of Inspection: 12-19-2023
 Date of EDI: 1-4-24

Kristen Leone, CG#1291

DESCRIPTION

Lender: Jill Bacheller **Client:** Jill Bacheller
Purchaser/Borrower: The Archelaus Realty Trust
Property Address: 23 Archelaus PI
City: West Newbury
County: Essex **State:** MA **Zip:** 01985
Legal Description: South Essex Registry of Deeds, Book 33354 Page 297 (www.salemdeeds.com)

FEES

AMOUNT

Market Value	1,500.00
Rental Grid	200.00

SUBTOTAL 1,700.00

PAYMENTS

AMOUNT

Check #: 111	Date: 12-16-23	Description: TD Bank (Total Check \$5000)	1,700.00
Check #:	Date:	Description:	
Check #:	Date:	Description:	

SUBTOTAL 1,700.00

TOTAL DUE \$ 0.00

Borrower	Ann Bacheller RT	File No.	230055
Property Address	23 Archelaus Pl		
City	West Newbury	County	Essex
		State	MA
		Zip Code	01985
Lender/Client	Jill Bacheller		

TABLE OF CONTENTS



Summary of Salient Features	1
GP Residential	2
Information to Determine Value by the Sales Comparison Approach, page 1	5
Information to Determine Value by the Sales Comparison Approach, page 2	6
General Text Addendum	7
Single Family Comparable Rent Schedule	8
Rentals Photos 1-3	9
MLS Rental Comps, page 1	10
MLS Rental Comps, page 2	11
West Newbury MLS Statistics	12
Zoning Map & Information (regarding subject properties), page 1	13
Zoning Map & Information (regarding subject properties), page 2	14
Building Sketch	15
Assessors Field Card, page 1	16
Assessors Field Card, page 2	17
Deed, page 1	18
Deed, page 2	19
Assessors Map 14 Lot 61	20
Location Map	21
Flood Map	22
Subject Photos	23
Photograph Addendum	24
Photograph Addendum	25
Photograph Addendum	26
Photograph Addendum	27
Photograph Addendum	28
Photograph Addendum	29
Photograph Addendum	30
Comparable Photos 1-3	31
423 Middle Street, West Newbury MLS Photos	32
114 Ash Street, West Newbury MLS Photos	33
443 Middle Street, West Newbury MLS Photos	34
GP Residential Certifications Addendum	35
USPAP Identification	37
Appraiser Qualifications	38

SUMMARY OF SALIENT FEATURES

SUBJECT INFORMATION	Subject Address	23 Archelaus Pl
	Legal Description	South Essex Registry of Deeds, Book 33354 Page 297 (www.salemdeeds.com)
	City	West Newbury
	County	Essex
	State	MA
	Zip Code	01985
	Census Tract	2631.00
	Map Reference	15764
PRICE & DATE	Contract Price	\$
	Date of Contract	
PARTIES	Borrower	Ann Bacheller RT
	Lender/Client	Jill Bacheller
DESCRIPTION OF IMPROVEMENTS	Size (Square Feet)	1,650
	Price per Square Foot	\$
	Location	Good/Back Road
	Age	61
	Condition	Average
	Total Rooms	7
	Bedrooms	3
	Baths	1.1
APPRAISER	Appraiser	Kristen-Anne Leone
	Effective Date of Appraisal	12/19/23
VALUE	Opinion of Value	\$ 1,700,000

RESIDENTIAL APPRAISAL REPORT

File No.: 230055

SUBJECT	Property Address: 23 Archelaus Pl	City: West Newbury	State: MA	Zip Code: 01985
	County: Essex	Legal Description: South Essex Registry of Deeds, Book 33354 Page 297 (www.salemdeeds.com)		
	Assessor's Parcel #: 14-61, AV \$592,284, Tax Rate \$11.03			
	Tax Year: 2023	R.E. Taxes: \$ 6,533	Special Assessments: \$ 0	Borrower (if applicable): Ann Bacheller RT

ASSIGNMENT	Current Owner of Record: Ann Bacheller RT				Occupant: <input checked="" type="checkbox"/> Owner	<input type="checkbox"/> Tenant	<input type="checkbox"/> Vacant	<input type="checkbox"/> Manufactured Housing
	Project Type: <input type="checkbox"/> PUD <input type="checkbox"/> Condominium <input type="checkbox"/> Cooperative <input type="checkbox"/> Other (describe)				HOA: \$ 0		<input type="checkbox"/> per year <input type="checkbox"/> per month	
	Market Area Name: None		Map Reference: 15764		Census Tract: 2631.00			
	The purpose of this appraisal is to develop an opinion of: <input checked="" type="checkbox"/> Market Value (as defined), or <input type="checkbox"/> other type of value (describe)							

MARKET AREA DESCRIPTION	This report reflects the following value (if not Current, see comments): <input checked="" type="checkbox"/> Current (the Inspection Date is the Effective Date)				<input type="checkbox"/> Retrospective	<input type="checkbox"/> Prospective
	Approaches developed for this appraisal: <input checked="" type="checkbox"/> Sales Comparison Approach <input checked="" type="checkbox"/> Cost Approach <input type="checkbox"/> Income Approach (See Reconciliation Comments and Scope of Work)					
	Property Rights Appraised: <input checked="" type="checkbox"/> Fee Simple <input type="checkbox"/> Leasehold <input type="checkbox"/> Leased Fee <input type="checkbox"/> Other (describe)					
	Intended Use: This report will provide the market value of the property.					

MARKET AREA DESCRIPTION	Intended User(s) (by name or type): The client and or his/her assignees.					
	Client: Jill Bacheller			Address: 29 Archelaus Place, West Newbury, MA 01985		
	Appraiser: Kristen-Anne Leone			Address: P.O.Box 2009, Haverhill, MA 01831-2009		
	Location: <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural					

Built up:	Growth rate:	Property values:	Demand/supply:	Marketing time:	Predominant Occupancy	One-Unit Housing		Present Land Use		Change in Land Use	
						PRICE (\$000)	AGE (yrs)	One-Unit	60 %	<input type="checkbox"/> Not Likely	<input checked="" type="checkbox"/> Likely *
<input type="checkbox"/> Over 75%	<input checked="" type="checkbox"/> 25-75%	<input checked="" type="checkbox"/> Stable	<input type="checkbox"/> In Balance	<input checked="" type="checkbox"/> Under 3 Mos.	<input checked="" type="checkbox"/> Owner	500	Low	2-4 Unit	5 %	* To: Residential	
<input type="checkbox"/> Rapid	<input checked="" type="checkbox"/> Stable	<input checked="" type="checkbox"/> Shortage	<input type="checkbox"/> Over Supply	<input type="checkbox"/> 3-6 Mos.	<input type="checkbox"/> Tenant	2,000	High	Multi-Unit	0 %		
<input type="checkbox"/> Under 25%	<input type="checkbox"/> Slow	<input type="checkbox"/> Declining	<input type="checkbox"/> Under Supply	<input type="checkbox"/> Over 6 Mos.	<input checked="" type="checkbox"/> Vacant (0-5%)	700	Pred	Comm'l	0 %		
<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/> Vacant (>5%)			Other	35 %		

Market Area Boundaries, Description, and Market Conditions (including support for the above characteristics and trends): Archelaus Place is a dead end road which is accessed from Stewart Street. The street is a lightly traveled back road. West Newbury is a bedroom community and many properties are located on back roads. The center of West Newbury is within a few miles. Employment districts and shopping centers are within 30 minutes in both Haverhill and Newburyport. New Hampshire is also within 30 minutes. There are no negative factors known. Other Uses: Include vacant and town owned properties

NOTE: There is a shortage of inventory which has resulted in shorter marketing times. See the attached MLS listings statistics in the addenda page which shows the year over year changes.

SITE DESCRIPTION	Dimensions: See Legal Description	Site Area: 19.16 Acres
	Zoning Classification: RB Residential (40,000 sf, 200' Frontage or 80,000 sf, 100'F)	Description: Conforming
	Zoning Compliance: <input checked="" type="checkbox"/> Legal <input type="checkbox"/> Legal nonconforming (grandfathered) <input type="checkbox"/> Illegal <input type="checkbox"/> No zoning	
	Are CC&Rs applicable? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown	

Actual Use as of Effective Date: Residential	Use as appraised in this report: Residential
Summary of Highest & Best Use: Present Residential Use- The property is oversized and has extensive frontage on two roads, many owners would subdivide the property to take advantage of the maximum value.	
FRONTAGE: Stewart Street: 530' frontage, Archelaus Place: 680', 251.78', & 262.38' frontage	

Utilities	Public	Other	Provider/Description	Off-site Improvements	Type	Public	Private	Topography	Gentle Grade/Rolling/Typical
Electricity	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Street	Paved	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Size	19.16 acres
Gas	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Oil	Curb/Gutter	None	<input type="checkbox"/>	<input type="checkbox"/>	Shape	Irregular
Water	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Well	Sidewalk	None	<input type="checkbox"/>	<input type="checkbox"/>	Drainage	Appears Adequate
Sanitary Sewer	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Septic	Street Lights	None	<input type="checkbox"/>	<input type="checkbox"/>	View	Fields, Woods, Small Pond
Storm Sewer	<input type="checkbox"/>	<input checked="" type="checkbox"/>	None	Alley	None	<input type="checkbox"/>	<input type="checkbox"/>	Other:	Front on Archelaus & Stewart

Other site elements: <input checked="" type="checkbox"/> Inside Lot <input type="checkbox"/> Corner Lot <input type="checkbox"/> Cul de Sac <input type="checkbox"/> Underground Utilities <input checked="" type="checkbox"/> Other (describe)	Potentially 5 additional residential lots
FEMA Spec'l Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No FEMA Flood Zone X	FEMA Map # 25009C0111F
	FEMA Map Date 7/3/2012

Site Comments: The subject property is subject to any and all easements and encroachments of record. The septic & well are typical for the area and not considered adverse. There was no seepage known. There is an inground pool. There is also a small pond on the property. The property is located on a lightly traveled back road. The property is landscaped adjacent to the improvements. There is a gravel driveway. There are no negative factors known.

General Description	Exterior Description	Foundation	Basement	Heating
# of Units: 1 <input type="checkbox"/> Acc. Unit	Foundation: Concrete/Avg	Slab: None	Area Sq. Ft.: 720	Type: FHW
# of Stories: 2	Exterior Walls: Vinyl Siding	Crawl Space: None	% Finished: 0	Fuel: Oil
Type: <input checked="" type="checkbox"/> Det. <input type="checkbox"/> Att. <input type="checkbox"/>	Roof Surface: Asph Shingles	Basement: Full Basement	Ceiling: Joists	Location: Tank in Bsmt
Design (Style): Colonial	Gutters & Dwnspts.: None	Sump Pump: <input type="checkbox"/>	Walls: Concrete	Cooling: Central None
<input checked="" type="checkbox"/> Existing <input type="checkbox"/> Proposed <input type="checkbox"/> Und.Cons.	Window Type: Double Hung	Dampness: <input checked="" type="checkbox"/> Yes	Floor: Concrete	Other: Window
Actual Age (Yrs.): 61	Storm/Screens: Yes	Settlement: None Known	Outside Entry: None	
Effective Age (Yrs.): 15-20		Infestation: None Known		

Interior Description	Appliances	Attic	Amenities	Car Storage
Floors: Hardwood & Pine/Avg	Refrigerator: <input checked="" type="checkbox"/>	Attic: <input type="checkbox"/> None	Fireplace(s) #: 1	Garage: # of cars (Tot.)
Walls: Sheetrock/Avg	Range/Oven: <input checked="" type="checkbox"/>	Stairs: <input type="checkbox"/>	Woodstove(s) #: 0	Attach: _____
Trim/Finish: Post & Beam	Disposal: <input type="checkbox"/>	Drop Stair: <input type="checkbox"/>	Deck: Deck	Detach: _____
Bath Floor: Tile/Average	Dishwasher: <input checked="" type="checkbox"/>	Scuttle: <input checked="" type="checkbox"/>	Porch: Porch	Blt.-In: _____
Bath Wainscot: Fiberglass/Average	Fan/Hood: <input checked="" type="checkbox"/>	Doorway: <input type="checkbox"/>	Fence: None	Carport: _____
Doors: Raised Panel	Microwave: <input type="checkbox"/>	Floor: <input type="checkbox"/>	Pool: Inground	Driveway: X 8+ Spaces
	Washer/Dryer: <input type="checkbox"/>	Heated: <input type="checkbox"/>		Surface: Gravel
	Finished: <input type="checkbox"/>	Finished: <input type="checkbox"/>		

Finished area above grade contains: 7 Rooms 3 Bedrooms 1.1 Bath(s) 1,650 Square Feet of Gross Living Area Above Grade
Additional features: Back Porch, Deck, Fireplace, Inground Pool, There is a small pond on the property.

Describe the condition of the property (including physical, functional and external obsolescence): The subject is a post & beam house in average condition. The kitchen and bathrooms are modern. The houses has newer windows. There is extensive natural woodwork and a stone fireplace. The deck and porch are off the rear of the house. The interior ceiling in the mudroom and a wall in the first level bathroom are unfinished. There was seepage in the basement after heavy rains. See the interior photos which show overall quality and condition. There is an inground pool with patio. There are no other negative factors known.

RESIDENTIAL APPRAISAL REPORT

My research did did not reveal any prior sales or transfers of the subject property for the three years prior to the effective date of this appraisal.

Data Source(s): Deed is attached

1st Prior Subject Sale/Transfer	Analysis of sale/transfer history and/or any current agreement of sale/listing:	Information is self-explanatory. This was a family transfer.
Date: 6-23-2014		
Price: \$100		
Source(s): Book 33354 Page 297		
2nd Prior Subject Sale/Transfer		
Date:		
Price:		
Source(s):		

SALES COMPARISON APPROACH TO VALUE (if developed) The Sales Comparison Approach was not developed for this appraisal.

FEATURE	SUBJECT	COMPARABLE SALE # 1			COMPARABLE SALE # 2			COMPARABLE SALE # 3		
Address	23 Archelaus Pl West Newbury, MA 01985	423 Middle St West Newbury, MA 01985			114 Ash St West Newbury, MA 01985			443 Middle St West Newbury, MA 01985		
Proximity to Subject		1.75 miles E			1.16 miles S			1.67 miles E		
Sale Price	\$	\$ 1,600,000			\$ 2,000,000			\$ 1,900,000		
Sale Price/GLA	\$ /sq.ft.	\$ 1,346.80 /sq.ft.			\$ 630.32 /sq.ft.			\$ 595.05 /sq.ft.		
Data Source(s)	Interior Inspection	MLS, List \$1,600,000, DOM 69			MLS, List \$2,000,000, DOM 94			MLS, List \$1,900,000, DOM 83		
Verification Source(s)	AV \$592,284	FCard, Ext Insp, AV\$529,000			FCard, Ext Insp, AV\$718,552			FCard, Ext Insp, AV\$1,010,900		
VALUE ADJUSTMENTS	DESCRIPTION	DESCRIPTION	+(-) \$ Adjust.	DESCRIPTION	+(-) \$ Adjust.	DESCRIPTION	+(-) \$ Adjust.	DESCRIPTION	+(-) \$ Adjust.	
Sales or Financing Concessions		None Offered ACTIVE LISTING			UNDER AGREEMENT List Date 6-26-23			None Offered ACTIVE LISTING		
Date of Sale/Time	DOI 12-19-2023	List 10-18-23			UA 9-27-23			List 10-4-23		
Rights Appraised	Fee Simple	Fee Simple			Fee Simple			Fee Simple		
Location	Good/Back Road	Good/Back Road			Good/Back Road			Good/Back Road		
Site	19.16 Acres	18.3 Acres			36 Acres			10 Acres +75,000		
View	Fields,Wds,S Pnd	Neighborhood 0			Neighborhood 0			Artichoke Reserv -50,000		
Design (Style)	Colonial	Cape			Antique			Cont Ranch		
Quality of Construction	Good/Post & Beam	Inferior/Gutted +25,000			Good/Post & Beam			Good/Contemp		
Age	61	B: 1961			B: 1727			B: 1952		
Condition	Average	Inferior +15,000			Superior -25,000			Superior -25,000		
Above Grade	Total Bdrms Baths	Total Bdrms Baths		Total Bdrms Baths		Total Bdrms Baths		Total Bdrms Baths		
Room Count	7 3 1.1	6 3 1	+5,000	8 3 2	-5,000	10 3 1.3	-15,000			
Gross Living Area	1,650 sq.ft.	1,188 sq.ft. +25,400			3,173 sq.ft. -83,800			3,193 sq.ft. -84,900		
Basement & Finished Rooms Below Grade	Full Basement Unfinished	Full Basement Unfinished			Full Basement Unfinished			Partial Basement Unfinished		
Functional Utility	Adequate	Adequate			Adequate			Adequate		
Heating/Cooling	FHW/Oil/None	Electric Heat/Inf +10,000			FHW/Oil/None			FHW/Oil/None		
Energy Efficient Items	None Reported	None Reported			None Reported			None Reported		
Garage/Carport	None	None			2 Car Attached -20,000			1 Car Garage -10,000		
Porch/Patio/Deck	Porch, Deck	None 0			Patio 0			Porches & Decks 0		
Kitchen & Bathrooms	Mod Kitchen & Ba's	Gutted Kit & Bath +25,000			Mod Kitchen & Ba's			Mod Kitchen & Ba's		
Amenities/Other	1 Fireplace	1 Fireplace			5 Fireplaces 0			1 Fireplace		
Other	None	MLS: 3 Add Lots			Barns -150,000			Water Frontage -100,000		
Frontage:	1724 +/-	860' +/- (2 Parcels)			1197 Frontage			900' Frontage		
Last Sale History	\$100 6-23-2014	\$250,000 4-30-18			\$0. 5-19-1998			\$700,000 12-8-06		
Net Adjustment (Total)		<input checked="" type="checkbox"/> + <input type="checkbox"/> - \$ 105,400			<input type="checkbox"/> + <input checked="" type="checkbox"/> - \$ -283,800			<input type="checkbox"/> + <input checked="" type="checkbox"/> - \$ -209,900		
Adjusted Sale Price of Comparables		Net 6.6 % Gross 6.6 % \$ 1,705,400			Net 14.2 % Gross 14.2 % \$ 1,716,200			Net 11.0 % Gross 18.9 % \$ 1,690,100		

Summary of Sales Comparison Approach Due to the limited transactions in West Newbury, your appraiser had to exceed 1 mile for comparables. See the addenda with information on sales to determine the market value. The comparables included are active listings in West Newbury.

Comparable #1 is adjusted for inferior quality and condition. This listing is essentially a land listing. The realtor has indicated there are 4 potential lots in total which is \$400,000 per lot.

Comparable #2 is adjusted for superior condition based on MLS photos and information. Per the agent, subdivision is possible, with frontage 5 lots would be possible which also supports \$400,000 per lot.

Comparable #3 is adjusted for a smaller parcel size and superior view and water frontage of the of the reservoir. Based on frontage, there are 4 potential lots or \$475,000.

Adjustments: \$5000/Half bathroom, \$10000/Bathroom, \$5000/AC, \$20,000/2 Car Garage, \$55/sf GLA Adjustment. All comparables are considered in the value.

Additional Supporting Information: Seller: Rogers
430 Middle Street, West Newbury, \$700,000 11-21-23 (Map 27-27 and 27C)
Map 27-28, Middle Street, Backland, 38.26 acres, \$985,000 3-31-21
Total Income to the seller \$1,685,000. Supports the indicated value by the current listings.

The addenda pages in the report support a value of \$2,100,000 to \$2,500,000 depending on 5 or 6 lots in total. See the addenda for sales of both similar house properties and building lots.

Indicated Value by Sales Comparison Approach \$	1,700,000
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RESIDENTIAL APPRAISAL REPORT

COST APPROACH TO VALUE (if developed) The Cost Approach was not developed for this appraisal.

Provide adequate information for replication of the following cost figures and calculations.

Support for the opinion of site value (summary of comparable land sales or other methods for estimating site value): There are no good comparable sales.

Value is based on knowledge of the area and appraiser files. The land to value ratio exceeds 30% which is common for the area. Your appraiser is estimating a value based on knowledge of the area. Assessors Land Value: \$353,400.

ESTIMATED <input checked="" type="checkbox"/> REPRODUCTION OR <input type="checkbox"/> REPLACEMENT COST NEW	OPINION OF SITE VALUE	= \$	1,600,000
Source of cost data: <u>Office Files & Builders Contracts</u>	DWELLING	1,650 Sq.Ft. @ \$	165.00 = \$ 272,250
Quality rating from cost service: <u>Average</u> Effective date of cost data: <u>Dec 2023</u>	Bsmt	720 Sq.Ft. @ \$	15.00 = \$ 10,800
Comments on Cost Approach (gross living area calculations, depreciation, etc.):		Sq.Ft. @ \$	= \$
Total GLA 1650 sf, See attached sketch pages.		Sq.Ft. @ \$	= \$
Replacement costs are based on the Marshall and Swift Cost handbook as well as supported by local builders costs for the area. The physical depreciation is based on the age/life method. There is no external or functional depreciation known.	Inground Pool		= \$ 45,000
	Garage/Carport	Sq.Ft. @ \$	= \$
	Total Estimate of Cost-New		= \$ 328,050
	Less Physical	Functional	External
	Depreciation	82,013	= \$(82,013)
	Depreciated Cost of Improvements		= \$ 246,037
	"As-is" Value of Site Improvements		= \$ 50,000
			= \$
			= \$
Estimated Remaining Economic Life (if required): <u>45 Years</u>	INDICATED VALUE BY COST APPROACH		= \$ 1,896,037

INCOME APPROACH TO VALUE (if developed) The Income Approach was not developed for this appraisal.

Estimated Monthly Market Rent \$ 3,600 X Gross Rent Multiplier 140 = \$ 504,000 Indicated Value by Income Approach

Summary of Income Approach (including support for market rent and GRM): The income approach is for the house and improvement only, it does not represent renting any of the excess land.

PROJECT INFORMATION FOR PUDs (if applicable) The Subject is part of a Planned Unit Development.

Legal Name of Project: _____

Describe common elements and recreational facilities: _____

Indicated Value by: Sales Comparison Approach \$ 1,700,000 Cost Approach (if developed) \$ 1,896,037 Income Approach (if developed) \$ 504,000

Final Reconciliation The Sales Comparison Approach and Cost Approach indicates a range from \$1,700,000 to \$1,896,037. The Income Approach is not considered applicable for the entire property, only for the house and improvements. See the attached addenda with scope and disclosure. The indicated marketing and exposure time is within 3-6 months.

This appraisal is made "as is", subject to completion per plans and specifications on the basis of a Hypothetical Condition that the improvements have been completed, subject to the following repairs or alterations on the basis of a Hypothetical Condition that the repairs or alterations have been completed, subject to the following required inspection based on the Extraordinary Assumption that the condition or deficiency does not require alteration or repair: This appraisal is made "as is" based on the condition of the subject at the time of inspection as indicated below.

This report is also subject to other Hypothetical Conditions and/or Extraordinary Assumptions as specified in the attached addenda.

Based on the degree of inspection of the subject property, as indicated below, defined Scope of Work, Statement of Assumptions and Limiting Conditions, and Appraiser's Certifications, my (our) Opinion of the Market Value (or other specified value type), as defined herein, of the real property that is the subject of this report is: \$ 1,700,000, as of: 12/19/23, which is the effective date of this appraisal. If indicated above, this Opinion of Value is subject to Hypothetical Conditions and/or Extraordinary Assumptions included in this report. See attached addenda.

A true and complete copy of this report contains 38 pages, including exhibits which are considered an integral part of the report. This appraisal report may not be properly understood without reference to the information contained in the complete report.

Attached Exhibits:

<input checked="" type="checkbox"/> Scope of Work	<input checked="" type="checkbox"/> Limiting Cond./Certifications	<input type="checkbox"/> Narrative Addendum	<input checked="" type="checkbox"/> Photograph Addenda	<input checked="" type="checkbox"/> Sketch Addendum
<input checked="" type="checkbox"/> Map Addenda	<input type="checkbox"/> Additional Sales	<input type="checkbox"/> Cost Addendum	<input checked="" type="checkbox"/> Flood Addendum	<input type="checkbox"/> Manuf. House Addendum
<input type="checkbox"/> Hypothetical Conditions	<input type="checkbox"/> Extraordinary Assumptions	<input type="checkbox"/> Extraordinary Assumptions	<input checked="" type="checkbox"/> Nb Listings & Land Listings	<input checked="" type="checkbox"/> Deed, Plot Plan

Client Contact: Jill Bacheller Client Name: Jill Bacheller

E-Mail: jbacheller@outlook.com Address: 29 Archelaus Place, West Newbury, MA 01985

SIGNATURES

APPRaiser Name: Kristen-Anne Leone SUPERVISORY APPRAISER (if required) or CO-APPRAISER (if applicable)

Company: Property North Appraisals, Inc

Phone: (978) 521-6900 Fax: (978) 945-1062

E-Mail: PropertyNorthAppraisals@Gmail.com

Date of Report (Signature): 01/03/2024

License or Certification #: 1291 CG State: MA

Designation: _____

Expiration Date of License or Certification: 09/23/2025

Inspection of Subject: Interior & Exterior Exterior Only None

Date of Inspection: 12/19/23

Information to Determine Value by the Sales Comparison Approach, page 1

Borrower	Ann Bacheller RT						
Property Address	23 Archelaus Pl						
City	West Newbury	County	Essex	State	MA	Zip Code	01985
Lender/Client	Jill Bacheller						

23 Archelaus Place, West Newbury, MA

Colonial, B: 1962, Post & Beam Construction, Average Condition, Amenities: Fireplace, Porch, Deck & Inground Pool

1650 sf, 7 Rooms, 3-4 Bedrooms, 1.5 Bathrooms, Full Basement

19.158 acres, 1724' frontage (Zoning: Res B, 40,000sf min & 200' frontage)

Determining Market Value:




23 Archelaus Place includes 19 +/- acres of land with a single family dwelling in average overall condition. The property has frontage on both Archelaus Place and Stewart Street. The land is relatively level and a lot of the land is cleared. In determining value, the highest and best use would be to subdivide the property. Based on current zoning bylaws, a Form A lot needs 200' frontage and 40,000 sf. As your appraiser was not provided a subdivision plan or any engineering documents, assumption are being made. The exact location of the house on the land is estimated and the number of potential lots is estimated. Based on frontage alone- It appears that there could be 8.62 lots (1724'/200'frontage), however the frontage is not contiguous, therefore the # of potential lots is estimated at 6 in total (5 potential building lots and 1 parcel with the improvements)

Your appraiser has included Single Family Sales and Land Sales in order to determine value.

West Newbury Comparable Single Family Sales:

Property Type(s): SF
 Status: NEW, ACT, PCG, BOM, EXT, RAC, CTG, UAG, SLD Price: Between \$400,000 and \$600,000
 Timeframe: 2023
 Towns: West Newbury, MA
 Advanced Criteria: Number of Bedrooms: 3+

Single Family Listings

 <p>MLS #: 73156532 Status: SLD 6 Training Field Rd West Newbury, MA 01985 List Price: \$489,000 Sale Price: \$500,000 List Date: 09/07/2023 DOM: 26 DTO: 12 Sale Date: 12/08/2023 Off-Market Date: 10/02/2023</p> <p>Style: Detached - Cape, Antique Rooms: 7 Beds: 3 Baths: 2f 0h Main Bath: Yes Living Area: 1,572 SqFt Source: Public Record Lot Size: 0.32 Acres (13,939 SqFt) Garage: 1 Fireplaces: 1 Basement: Full, Unfinished Basement Year Built: 1780 Source: Public Record Int Features: Ext Features: Patio, Gutters, Garden Area Green Certified: HERS Score: Waterfront Features: Beach Description: FY: 2023 Assessment: \$462,200 Taxes: \$5,098</p>	 <p>MLS #: 73142244 Status: SLD 101 BACHELOR STREET West Newbury, MA 01985 List Price: \$400,000 Sale Price: \$405,000 List Date: 07/30/2023 DOM: 8 DTO: 8 Sale Date: 08/31/2023 Off-Market Date: 08/07/2023</p> <p>Style: Detached - Other (See Remarks) Rooms: 6 Beds: 3 Baths: 1f 1h Main Bath: Living Area: 1,032 SqFt Source: Public Record Lot Size: 0 Acres (0 SqFt) Garage: 0 Fireplaces: 0 Basement: Partially Finished Year Built: 1966 Source: Public Record Int Features: Ext Features: Green Certified: HERS Score: Waterfront Features: Beach Description: FY: 2023 Assessment: \$532,100 Taxes: \$5,869</p>	 <p>MLS #: 73073545 Status: SLD 1 Farm Lane West Newbury, MA 01985 List Price: \$425,000 Sale Price: \$469,000 List Date: 01/25/2023 DOM: 21 DTO: 7 Sale Date: 03/17/2023 Off-Market Date: 02/14/2023</p> <p>Style: Detached - Garrison Rooms: 7 Beds: 4 Baths: 1f 1h Main Bath: No Living Area: 1,666 SqFt Source: Public Record Lot Size: 0.71 Acres (30,928 SqFt) Garage: 2 Fireplaces: 1 Basement: Full, Interior Access, Bulkhead, Sump Pu... Year Built: 1965 Source: Public Record Int Features: Internet Available - Unknown Ext Features: Porch - Enclosed, Gutters, Fenced Yard Green Certified: No HERS Score: Waterfront Features: Beach Description: FY: 2023 Assessment: \$483,300 Taxes: \$5,331</p>
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Single Family Listings: 3 Median Liv. Area SqFt: 1,572 Median List \$: \$425,000 Median List \$/SqFt: \$311 Median DOM: 21 Median DTO: 8 Median Sale \$: \$469,000 Median Sale \$/SqFt: \$318

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Based on the comparables included, a value of \$500,000 is estimated for the house and improvements on a typical form A lot.






Information to Determine Value by the Sales Comparison Approach, page 2

Borrower	Ann Bacheller RT			
Property Address	23 Archelaus Pl			
City	West Newbury	County Essex	State MA	Zip Code 01985
Lender/Client	Jill Bacheller			

Land Sales and Listings in West Newbury

Property Type(s): **LD**
 Status: **NEW, ACT, PCG, BOM, EXT, RAC, CTG, UAG, SLD** Price:
 Timeframe: **2022+**
 Towns: **West Newbury, MA**

Land Listings

 <p style="text-align: center;">MLS #: 73017872 Status: SLD 154 Middle Street West Newbury, MA 01985</p> <p>List Price: \$409,999 Sale Price: \$415,000 List Date: 07/27/2022 DOM: 13 DTO: 3 Sale Date: 09/12/2022 Off-Market Date: 07/30/2022</p> <p>Type: Residential Lot Size: 1.81 Acres (78,843 SqFt) Road Type: Public Zoning/Use: RB/ Single Family Improvements: Lot Desc: Farmland, Scenic View(s) Area Amenities:</p> <p>Docs on Hand: Perc Test, Septic Design Water: Private Sewer: Private Gas: None Electric: At Street Waterfront Features: Beach Description:</p> <p>FY: 2022 Assessment: \$357,403 Taxes: \$3,956</p>	 <p style="text-align: center;">MLS #: 72951704 Status: SLD 152 Middle Street West Newbury, MA 01985</p> <p>List Price: \$399,900 Sale Price: \$410,000 List Date: 03/10/2022 DOM: 15 DTO: 1 Sale Date: 04/15/2022 Off-Market Date: 03/25/2022</p> <p>Type: Residential Lot Size: 1.57 Acres (68,389 SqFt) Road Type: Public Zoning/Use: RB/ Single Family Improvements: Lot Desc: Farmland, Scenic View(s) Area Amenities:</p> <p>Docs on Hand: Septic Design Water: Private Sewer: Private Gas: None Electric: At Street Waterfront Features: Beach Description:</p> <p>FY: 2022 Assessment: \$302,700 Taxes: \$3,956</p>	 <p style="text-align: center;">MLS #: 73063685 Status: SLD 6 Norino Dr West Newbury, MA 01985</p> <p>List Price: \$399,000 Sale Price: \$399,000 List Date: 12/07/2022 DOM: 148 DTO: 148 Sale Date: 05/30/2023 Off-Market Date: 05/04/2023</p> <p>Type: Residential Lot Size: 2.42 Acres (105,415 SqFt) Road Type: Public Zoning/Use: RC/ Single Family Improvements: Lot Desc: Level, Wooded Area Amenities: Public Transportation, Shopping, Park, G.</p> <p>Docs on Hand: Septic Design, Other (See Remarks) Water: Public Sewer: Private Gas: None Electric: At Street Waterfront Features: Beach Description:</p> <p>FY: 2018 Assessment: \$286,500 Taxes: \$3,890</p>
 <p style="text-align: center;">MLS #: 73173935 Status: ACT 12 Steed Ave West Newbury, MA 01985</p> <p>List Price: \$350,000 List Date: 10/25/2023 DOM: 70</p> <p>Type: Residential Lot Size: 0.64 Acres (27921.96 SqFt) Road Type: Public, Paved, Publicly Maint., Sidewalk Zoning/Use: RC/ Single Family, Multi-Family Improvements: Storm Drains, Sidewalks Lot Desc: Level, Cleared, Gentle Slope, Scenic Vie... Area Amenities: Public Transportation, Shopping, Walk/Jo...</p> <p>Docs on Hand: Perc Test, Topographical Map, Appraisal Water: Public Sewer: Private Gas: None Electric: At Street Waterfront Features: Beach Description:</p> <p>FY: 2023 Assessment: \$463,100 Taxes: \$5,108</p>	 <p style="text-align: center;">MLS #: 73150135 Status: ACT Lot 5 0 Wilsley Hill Rd West Newbury, MA 01985</p> <p>List Price: \$499,900 List Date: 08/18/2023 DOM: 137</p> <p>Type: Residential Lot Size: 4.75 Acres (206,910 SqFt) Road Type: Zoning/Use: RA/ Single Family Improvements: Lot Desc: Wooded Area Amenities:</p> <p>Docs on Hand: Water: Private Sewer: Private Gas: Nearby Electric: Nearby Waterfront Features: Beach Description:</p> <p>FY: 2023 Assessment: \$392,000 Taxes: \$4,324</p>	

Land Listings: 5 Median List \$: \$399,900 Median DOM: 70 Median DTO: 3 Median Sale \$: \$410,000

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A value of \$400,000 is estimated for each of the building lots.

Application:

1 parcel with the House & Improvements:	\$ 500,000
5 Building lots \$400,000 * 5:	<u>\$2,000,000</u>
Total Indicated Value:	\$2,500,000

This does not include any legal and/or engineering fees which should not exceed 5% (125,000).

A conservative value would be:

1 parcel with the House & Improvements:	\$ 500,000
4 Building lots \$400,000 * 5:	<u>\$1,600,000</u>
Total Indicated Value:	\$2,100,000

Supplemental Addendum

File No. 230055

Borrower	Ann Bacheller RT						
Property Address	23 Archelaus Pl						
City	West Newbury	County	Essex	State	MA	Zip Code	01985
Lender/Client	Jill Bacheller						

MARKET VALUE DEFINITION:

The words "Opinion of Value" supersede the words "Estimate of Value" throughout this report.

SCOPE: EXTENT OF THE APPRAISAL REPORT PROCESS:

Per the clients request, your appraiser will provide a summary appraisal report which estimates the market value of the subject property as defined herein. Your appraiser has followed developmental requirements as outlined within Standard 1 (Standard Rule 1-2) of the Uniform Standards of Professional Appraisal Practice (USPAP). In preparing the report, your appraiser has followed requirements within Standard 2 (Standard Rule 2-2) departing from Standard Rule # (1-4c Income Approach). The function of the appraisal report is to assist the client, and their assignees in evaluating the market value of the subject property. Although others will most likely receive a copy of this appraisal report, they are not considered an intended user of this report. Any questions regarding the content of this appraisal must be directed to the client who ordered this report. This report has been requested to aid in a federally related transaction.

Pursuant to your request, I have made an inspection of the subject.

In determining the current Market Value of the subject property, I may have used the following sources:

- 1) Transfer Directories
- 2) MLS Listing Information
- 3) MLS Sales Information
- 4) Assessors Records, (Field Cards and Maps)
- 5) Broker Conversations
- 6) Builder Conversations
- 7) Office Files, Appraisal Reports
- 8) Exterior Inspection of Comparable Sales
- 9) Interior Inspection of Comparable Sales

I have researched sales and listings within the town. All sales have been researched through MLS, assessors records and an exterior inspection. The sales used are considered the best available.

SCOPE OF WORK RULE:

The appraiser must properly identify the problem to be solved in order to determine the appropriate scope of work. The appraiser must be prepared to demonstrate that the scope of work is sufficient to produce credible assignment results.

DEPARTURES:

The Income Approach has not been included in this report as single family properties are not generally purchased for income potential.

SIGNATURE DISCLOSURE:

A signature is a personalized evidence indicating authentication of the work performed by the appraiser and the acceptance for content, analysis and the conclusions in the report. This report has been signed by a digital signature as indicated under the signature disclosure.

COMPETENCY PROVISION:

I, Kristen Leone, Real Property Appraiser for Property North Appraisals, Inc located in Haverhill, Massachusetts am competent to provide the client with the summary appraisal report as requested. I have completed all requirements including classroom hours and educational requirements to keep my license active and current by the States of Massachusetts and New Hampshire. I have been working full time since 1985. I have been a co-owner of Property North Appraisals, Inc since it's establishment in 1989.

CERTIFICATION:

The reported analysis, opinions and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraiser Institute. The use of this report is subject to the requirements of the Appraisal Institute relating to review by it's dully authorized representatives.

EXPOSURE TIME:

The exposure time is based on your appraiser's knowledge of the area and MLS information: under 3 months due to the limited inventory.

The appraisal was prepared in accordance with the requirements of title XI of the Financial Institutions Reform, Recovery and Enforcement Act of 1989, as amended (12 U.S.C. 3331et seq.), and any implementing regulations"

SINGLE FAMILY COMPARABLE RENT SCHEDULE

This form is intended to provide the appraiser with a familiar format to estimate the market rent of the subject property. Adjustments should be made only for items of significant difference between the comparables and the subject property.

ITEM	SUBJECT	COMPARABLE NO. 1		COMPARABLE NO. 2		COMPARABLE NO. 3	
Address	23 Archelaus Pl West Newbury, MA 01985	40 Middle St West Newbury, MA 01985		875 Main St West Newbury, MA 01985		866 Main St West Newbury, MA 01985	
Proximity to Subject		1.86 miles SW		1.68 miles NE		1.61 miles NE	
Date Lease Begins Date Lease Expires		3/1/2024, Under Agreement 1 Year		2/28/2022 2/28/2023		3/16/2022 3/16/2023	
Monthly Rental	If Currently Rented: \$	\$ 3,800		\$ 4,500		\$ 3,000	
Less: Utilities Furniture	\$	\$		\$		\$	
Adjusted Monthly Rent	\$	\$ 3,800		\$ 4,500		\$ 3,000	
Data Source	Interior Inspection AV \$592,284	MLS, List \$3800/Mo, DOM 54 Ext Insp, Field Card		MLS, List \$4500/Mo, DOM 6 Ext Insp, Field Card		MLS, List \$3000/Mo, DOM 32 Ext Insp, Field Card	
RENT ADJUSTMENTS	DESCRIPTION	DESCRIPTION	+ (-)\$ Adjust.	DESCRIPTION	+ (-)\$ Adjust.	DESCRIPTION	+ (-)\$ Adjust.
Rent Concessions		None Offered		None Reported		None Reported	
Location/View	Good/Back Road Fields,Wds,S Pnd	Good/Back Road Neighborhood 0		Busier Rd (Rte113 Neighborhood 0		Busier Rd (Rte113 Neighborhood 0	
Design and Appeal	Colonial	Cape		Colonial		Colonial Inf Farm & Access +500	
Age/Condition	61 Average	B: 1978/45 Average		B: 2005/18 Superior -100 -50		B: 1880/Rehab'21 Superior -100 -50	
Above Grade Room Count	Total Bdrms Baths 7 3 1.1	Total Bdrms Baths 7 3/4 2 -50		Total Bdrms Baths 9 4 2.1 -100 -50		Total Bdrms Baths 8 4 2 -50 -50	
Gross Living Area	1,650 Sq. Ft.	2,165 Sq. Ft. -100		4,022 Sq. Ft. -600		2,128 Sq. Ft. -100	
Other (e.g., basement, etc.)	Full Basement Unfinished	Full Basement Unfinished		Full Basement Partially Finished 0		Full Basement Unfinished	
Other:	Deck, Porch, FP Ing Pool, 0 Gar	Scr Porch, FP 0 2 Car Garage 0		Porch & Dks, 2 FP 0 2 Car Garage 0		Porches 0 0 Garage +100	
Net Adj. (total)		<input type="checkbox"/> + <input checked="" type="checkbox"/> - \$ -150		<input type="checkbox"/> + <input checked="" type="checkbox"/> - \$ -850		<input checked="" type="checkbox"/> + <input type="checkbox"/> - \$ 300	
Indicated Monthly Market Rent		Net 3.9 % Gross 3.9 % \$ 3,650		Net 18.9 % Gross 18.9 % \$ 3,650		Net 10.0 % Gross 30.0 % \$ 3,300	

Comments on market data, including the range of rents for single family properties, an estimate of vacancy for single family rental properties, the general trend of rents and vacancy, and support for the above adjustments. (Rent concessions should be adjusted to the market, not to the subject property.) Public information on single family rentals is scarce. The comparables are adjusted for amenities and size differences. All comparables support a value of \$3,600.

See the addenda pages with additional comparables Single Family Rentals in West Newbury, Groveland & Merrimac. (They all share the Pentucket Regional School district.)

Final Reconciliation of Market Rent: Based on the comparables above, your appraiser is estimating fair market rent at \$3600 per month.

I (WE) ESTIMATE THE MONTHLY MARKET RENT OF THE SUBJECT AS OF 12/19/23 TO BE \$ 3,600

Appraiser(s) SIGNATURE *Kristen Anne Leone* Review Appraiser SIGNATURE _____
NAME Kristen-Anne Leone (if applicable) NAME _____

Date Property Inspected 12/19/23 Report Signed 01/03/2024 Date Property Inspected _____ Report Signed _____
License or Certification # 1291 CG State MA License or Certification # _____ State _____
Expiration Date of License or Certification 09/23/2025 Expiration Date of License or Certification _____
Review Appraiser Did Did Not Inspect Subject Property

Rental Photo Page

Borrower	Ann Bacheller RT				
Property Address	23 Archelaus Pl				
City	West Newbury	County Essex	State MA	Zip Code 01985	
Lender/Client	Jill Bacheller				



Rental 1

40 Middle St
 Proximity 1.86 miles SW
 Adj. Rent/Mo 3,800
 GLA 2,165
 Total Rooms 7
 Total Bdrms 3/4
 Total Baths 2
 Location Good/Back Road
 View Neighborhood
 Condition Average
 Age/Year Built B: 1978/45



Rental 2

875 Main St
 Proximity 1.68 miles NE
 Adj. Rent/Mo 4,500
 GLA 4,022
 Total Rooms 9
 Total Bdrms 4
 Total Baths 2.1
 Location Busier Rd (Rte113)
 View Neighborhood
 Condition Superior
 Age/Year Built B: 2005/18



Rental 3

866 Main St
 Proximity 1.61 miles NE
 Adj. Rent/Mo 3,000
 GLA 2,128
 Total Rooms 8
 Total Bdrms 4
 Total Baths 2
 Location Busier Rd (Rte113)
 View Neighborhood
 Condition Superior
 Age/Year Built B: 1880/Rehab'21

MLS Rental Comps, page 1

Borrower	Ann Bacheller RT				
Property Address	23 Archelaus Pl				
City	West Newbury	County	Essex	State	MA
				Zip Code	01985
Lender/Client	Jill Bacheller				

Property Type(s): RN

Status: NEW, ACT, PCG, BOM, EXT, RAC, CTG, UAG, RNT Price: \$3,000 or higher

Timeframe: 2022+

Towns: Groveland, MA; Merrimac, MA; West Newbury, MA

Residential Rental Listings



x36

MLS #: 73165058
6 Pinewood Ln U: 6
Groveland, MA 01834
DOM: 29 **DTO:** 29

Status: RNT

Rent Price: \$3,200
List Date: 09/29/2023
Date Avail.: Now
Deposit: Yes \$3,200
Furnished: Partial

Rented Price: \$3,200
Rental Date: 11/08/2023
Off Mkt: 10/28/2023

Style: Single Family

Rooms: 5

Beds: 3

Baths: 2f 0h

Outdoor Space: Yes - Private

Main Bath: Yes

Living Area: 1,584 SqFt

Garage: 1

Parking: 2

Pets: Yes w/

Year Built: 1961

Rent Terms:

Restrictions

Rent Includes: Extra Storage, Laundry Facilities, Parking

Remarks: Lovely ranch style home in a quiet neighborhood offering 3 bedrooms with ample closet space and hardwood floors. Primary bedroom with full bath, another full bathroom conveniently located next to the other 2 bedrooms. Hardwood floors throughout living, dining room and breakfast area off the kitchen. Large basement for storage and laundry, 1 car garage and plenty of off street parking. Out the back door off the kitchen you'll find a large deck leading to the lush fenced in yard. Immediate occupancy available, the owner is looking for an initial one year lease, after the first year it will atomically transition to a 30 day tenancy at will. Applications will be supplied upon request.



x15

MLS #: 73158752
134 King St U: 1
Groveland, MA 01834
DOM: 112

Status: ACT

Rent Price: \$4,500
List Date: 09/13/2023
Date Avail.: Now
Deposit: Yes \$5,000
Furnished: No

Style: Single Family

Rooms: 8

Beds: 4

Baths: 2f 1h

Outdoor Space: Yes - Common

Main Bath:

Living Area: 2,500 SqFt

Garage: 1

Parking: 4

Pets: Yes w/

Year Built: 1732

Rent Terms:

Restrictions

Rent Includes: Water, Sewerage Disposal, Refuse Removal, Snow Removal

Remarks: Sold your house and need to stay in the Groveland area? Can't find a house to buy? Look no further! Available for immediate occupancy, fully renovated and modern antique colonial home is ready to welcome you home. Featuring 4 bedrooms, updated kitchen and baths, comfortable living areas. The rental also includes a parking bay in the garage, landscaping and snow removal. This is a great place to call home! All applicants must complete an application and submit to a credit check/background check.



x16

MLS #: 73114522
477 Main Street
Groveland, MA 01834
DOM: 8 **DTO:** 8

Status: RNT

Rent Price: \$3,800
List Date: 05/20/2023
Date Avail.: 07/01/2023
Deposit: Yes \$1,900
Furnished:

Rented Price: \$3,500
Rental Date: 07/01/2023
Off Mkt: 05/28/2023

Style: Single Family

Rooms: 9

Beds: 4

Baths: 2f 1h

Outdoor Space:

Main Bath: Yes

Living Area: 2,944 SqFt

Garage: 2

Parking: 4

Pets: Yes w/

Year Built: 2002

Rent Terms:

Restrictions

Rent Includes: Grounds Maintenance

Remarks: Custom Built Colonial on 1.7 acres of land overlooking stream and field w/ farmers porch. The house features 9 Rooms- 4 Bedrooms-2.5 baths and hardwood floors throughout. You will enjoy the Spacious Family Room w/ built in shelves, bay window & wood burning fireplace for snowy nights! The Dining room is nice size and great for entertaining. The living room has french doors & pocket doors for total privacy. The house has 8 feet ceilings and extra wide staircases, with washer and dryer on first floor. The Eat in Kitchen is light and bright with a large deck off of it. Bonus Great Room with Cathedral ceiling, ceiling fans and large picture window over looking scenic stream and forest. The Master Bedroom w/ master bath, 20 x 13 has a walk in closet, jacuzzi tub & double sinks. The bedrooms are good size- full bath in hall & Attic storage! The house has plenty of rooms & places to relax! Large two car garage w/ access to full basement. Come and take a look! You will be glad you di



x37

MLS #: 73108840
8 Hemlock Ln
Groveland, MA 01834
DOM: 41 **DTO:** 41

Status: RNT

Rent Price: \$6,000
List Date: 05/09/2023
Date Avail.: 09/01/2023
Deposit: Yes \$6,000
Furnished: Partial

Rented Price: \$6,000
Rental Date: 06/19/2023
Off Mkt: 06/19/2023

Style: Single Family

Rooms: 9

Beds: 4

Baths: 3f 1h

Outdoor Space: Yes - Private

Main Bath: Yes

Living Area: 3,680 SqFt

Garage: 2

Parking: 6

Pets: Yes w/

Year Built: 2002

Rent Terms:

Restrictions

Rent Includes: Water, Grounds Maintenance, Swimming Pool, Furnishings (See Remarks)

Remarks: This beautiful high-end colonial w/ salt water in-ground pool emersed in a highly-desired & private neighborhood is move-in ready. Located in the NEW Pentucket School System & on a private culdesac, this partially furnished SF colonial features an entertainment layout on the first floor w/hardwood throughout, following a large & updated kitchen w/ SS appliances & views overlooking the private backyard. Opening into a large eat-in area, a bright & airy LR w/ a fireplace, a formal dining, & formal LR - ideal for remote workers. Going upstairs, there is a luxurious master suite, ft a walk-in closet & large bath w/ jacuzzi tub & double vanity. The upstairs also features 3 additional large bedrooms, and another full bath. The attic provides another large area of living - perfect for a home gym & a wealth of storage. Need more space? The walk-out basement features an in-law w/ kitchen, living area & full bath. Reaching the backyard, you will find yourself in a tranquil state abutting woods.

MLS Rental Comps, page 2

Borrower	Ann Bacheller RT				
Property Address	23 Archelaus Pl				
City	West Newbury	County Essex	State MA	Zip Code 01985	
Lender/Client	Jill Bacheller				



x25

MLS #: 73001163
3 Dewhurst St U: 0
Groveland, MA 01834
DOM: 35 DTO: 34

Status: RNT

Rented Price: \$3,800
Rental Date: 07/25/2022
Off Mkt: 07/24/2022

Rent Price: \$3,800
List Date: 06/20/2022
Date Avail.: 08/01/2022
Deposit: Yes \$3,800
Furnished: No

Style: Single Family
Rooms: 8 **Beds:** 4 **Baths:** 3f 0h
Garage: 2 **Parking:** 4 **Pets:** Yes w/ Restrictions

Outdoor Space: Yes - Private
Main Bath:
Year Built: 1942

Living Area: 2,982 SqFt
Rent Terms:

Rent Includes: Occupancy Only

Remarks: You'll fall in love with this home located on a private road in desirable Groveland! This charming 4b/3ba colonial is peacefully nestled amongst lush greenery and picturesque woodland views. Endless upgrades by previous owner occupants have made this home BETTER THAN NEW CONSTRUCTION! The open concept kitchen complete with; a granite island, luxurious stainless appliances including a double wall oven, modern tile and backsplash, make this the perfect home for the aspiring home chef! The living quarters include 4 large rooms with ample storage, grand windows & 2 add'l full baths. Don't miss your opportunity to live in this highly coveted school district, minutes from I95 & new Rail Trail leading to North Shore! NO FEE! ONLY FIRST & SECURITY REQUIRED. Pets OK! Tenant pays; oil, gas, electric, water & is responsible for snow removal/and lawn care.



x18

MLS #: 73175240
40 Middle St
West Newbury, MA 01985
DOM: 54 DTO: 54

Status: UAG

Ant. Sale Date: 03/01/2024
Off Mkt: 12/23/2023

Rent Price: \$3,800
List Date: 10/30/2023
Date Avail.: 03/01/2024
Deposit: Yes \$4,000
Furnished:

Style: Single Family
Rooms: 7 **Beds:** 4 **Baths:** 2f 0h
Garage: 2 **Parking:** 4 **Pets:** No

Outdoor Space: Yes - Private
Main Bath: Yes
Year Built: 1978

Living Area: 2,165 SqFt
Rent Terms:

Rent Includes: Occupancy Only

Remarks: Nestled on a spacious and quiet lot in the highly sought-after rural setting of West Newbury, this extended cape is the epitome of tranquility and convenience. With easy access to major highways and countless local amenities, it offers the perfect location for those seeking a serene escape without sacrificing accessibility. Boasting a spacious 3+ bedroom layout with first floor primary bedroom, there's plenty of room for all your needs. Meticulously maintained and ready for new tenants, this property is a must see.



x21

MLS #: 72944974
875 Main St
West Newbury, MA 01985
DOM: 6 DTO: 6

Status: RNT

Rented Price: \$4,500
Rental Date: 02/28/2022
Off Mkt: 02/28/2022

Rent Price: \$4,500
List Date: 02/22/2022
Date Avail.: 04/30/2022
Deposit: Yes \$4,500
Furnished:

Style: Single Family
Rooms: 9 **Beds:** 4 **Baths:** 2f 1h
Garage: 2 **Parking:** 4 **Pets:** Yes w/ Restrictions

Outdoor Space: Yes - Private
Main Bath: Yes
Year Built: 2005

Living Area: 3,924 SqFt
Rent Terms: flex

Rent Includes: Sewerage Disposal, Parking

Remarks: Rental opportunity in West Newbury! Offering space and privacy in a bucolic setting with the convenience of a 4 minute drive to shopping and dining in bustling Newburyport. This home has all of the space you are looking for, with 4 bedrooms and a generous master bedroom suite with a stunning tiled bathroom and oversized closets. Enjoy a large Chef's kitchen with modern appliances and high-end touches. Need extra space? The finished basement can support many options, including a gym, playroom, media room, family room and an additional bedroom. Includes a fully fenced in and gated yard with attached 2 car garage, mudroom and central air.



x12

MLS #: 72937750
866 Main St U: 1
West Newbury, MA 01985
DOM: 32 DTO: 25

Status: RNT

Rented Price: \$3,000
Rental Date: 03/16/2022
Off Mkt: 03/01/2022

Rent Price: \$3,000
List Date: 01/28/2022
Date Avail.: Now
Deposit: Yes \$1,500
Furnished:

Style: Single Family
Rooms: 8 **Beds:** 4 **Baths:** 2f 0h
Garage: 0 **Parking:** 2 **Pets:** Yes w/ Restrictions

Outdoor Space: Yes - Common
Main Bath:
Year Built: 1880

Living Area: 2,128 SqFt
Rent Terms:

Rent Includes: Snow Removal, Grounds Maintenance

Remarks: This landmark property in West Newbury has recently been gutted to the studs and is ready for its next tenant! Bright and sunny, this New England-style farmhouse has high ceilings and beautiful wood floors throughout. This home includes a fabulous chef's kitchen, 2 full bathrooms, and a large attic for storage. Located on an active farm, imagine not being able to travel far for your fresh produce as it's right in your front yard! This one-of-a-kind rental offers easy access to 95 and downtown Newburyport/West Newbury amenities. Don't miss this opportunity! Please see firm remarks.

Residential Rental Listings: 8 **Median Liv. Area SqFt:** 2,722 **Median List \$:** \$3,800 **Median DOM:** 33.5 **Median DTO:** 29 **Median Sale \$:** \$3,650

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West Newbury MLS Statistics

Borrower	Ann Bacheller RT											
Property Address	23 Archelaus Pl											
City	West Newbury	County	Essex	State	MA	Zip Code	01985					
Lender/Client	Jill Bacheller											

File Name:	West Newbury MLS Statistics- Single Family (Residential)											
Date:	12/28/2023											
Appraiser:	Kristen Leone, Property North Appraisals, Inc											
	978.521.6900, PropertyNorthAppraisals@gmail.com											

West Newbury Single-Family Listings per www.MLSPIN.com (All ages)												
Status	Average List Price	Average Sale Price	Total Listing	Avg DOM	% Change List Price	% Change Sale Price	Monthly Absorption	\$ Range Thousands	Sale to List Price Ratio	Median Price	% Change Median \$	Market Volume
Active			6	64				1199-1900		\$1,512,500	47.93%	
UA			4	43				649-2000		\$1,022,450	30.25%	
2023 ytd	\$850,433	\$861,051	41	30	-5.66%	-6.37%	3.42	287-2200	101.25%	\$785,000	1.95%	\$35,303,077
2022	\$901,485	\$919,603	39	30	7.48%	6.47%	3.25	400-3450	102.01%	\$770,000	-6.67%	\$35,864,500
2021	\$838,763	\$863,755	67	41	19.11%	23.23%	5.58	265-1665	102.98%	\$825,000	21.32%	\$57,871,572
2020	\$704,165	\$700,908	59	50	7.13%	8.87%	4.92	365-1375	99.54%	\$680,000	10.12%	\$41,353,548
2019	\$657,271	\$643,825	56	98	11.90%	11.38%	4.67	320-1080	97.95%	\$617,500	11.53%	\$36,054,176
2018	\$587,369	\$578,061	52	92	-0.84%	-0.72%	4.33	250-1000	98.42%	\$553,650	0.22%	\$30,059,197
2017	\$592,335	\$582,264	82	88	2.70%	3.49%	6.83	100-2187	98.30%	\$552,450	-2.99%	\$47,745,662
2016	\$576,755	\$562,634	64	108			5.33	250-865	97.55%	\$569,500		\$36,021,399

Source: Massachusetts MLS NOTE: All properties are listed and sold by various companies.

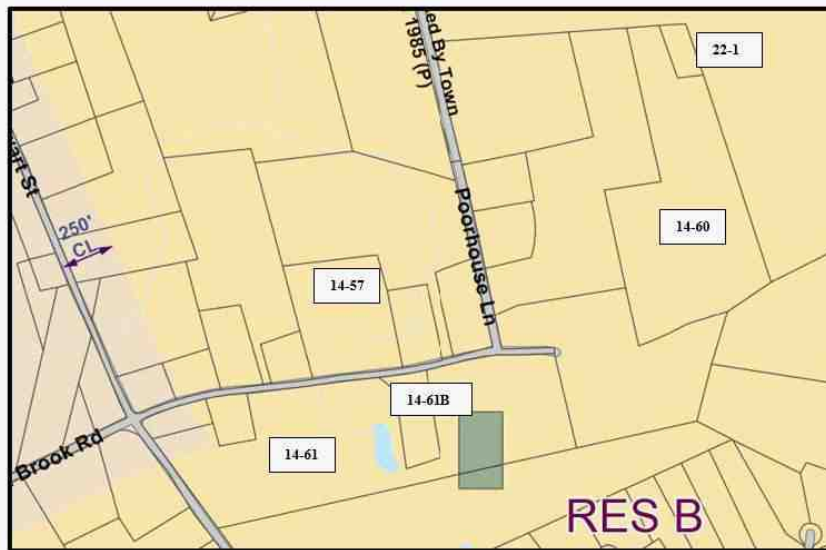
Zoning Map & Information (regarding subject properties), page 1

Borrower	Ann Bacheller RT				
Property Address	23 Archelaus Pl				
City	West Newbury	County	Essex	State	MA Zip Code 01985
Lender/Client	Jill Bacheller				

Zoning Map & Assessors Map:

5 Properties Being Valued

- 14-57: Archelaus Place, 6 Acres, Frontage on Archelaus Place
FRONTAGE: 450' per Assessors Map
- 14-61: 23 Archelaus Place, 19.16 Acres & House, Frontage on Archelaus Place & Stewart Street
FRONTAGE: Stewart Street: 530' frontage, Archelaus Place: 680', 251.78', & 262.38' frontage
Total: 1,724' +/- Frontage on two roads.
- 14-61B: 29 Archelaus Place, 1.78 Acres & House, Frontage on Archelaus Place
- 14-60: R Archelaus Place, 15 Acres, Access: Easement
- 22-1: R Pour House Lane, .8 Acres, Access: Easement



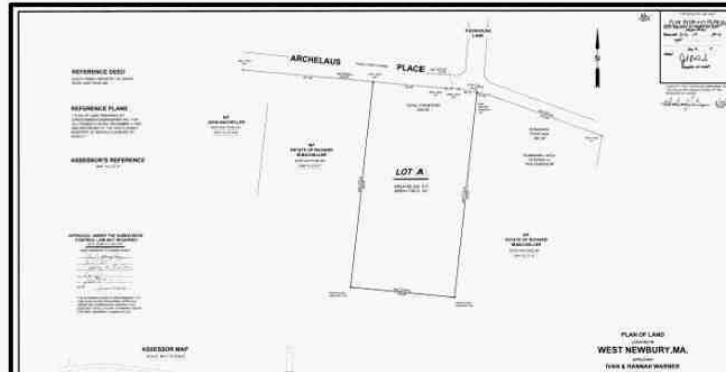
Zoning: Res B (40,000 sf min, 200' frontage), all legal conforming uses



Zoning Map & Information (regarding subject properties), page 2

Borrower	Ann Bacheller RT				
Property Address	23 Archelaus Pl				
City	West Newbury	County Essex	State MA	Zip Code 01985	
Lender/Client	Jill Bacheller				

Recorded Plan 443 Plan 86 Lot A used to determine additional frontage for 23 Archelaus Place



Zoning Dimensions:

SECTION 6.A. TABLE OF DIMENSIONAL CONTROL

[Section 6.A. revised by Amendment effective May 3, 2012 by vote of Annual Town Meeting, Article 23, and approved by the Attorney General on August 30, 2012, and posted according to law on September 7, 2012]

[Section 6.A. revised by Amendment effective October 27, 2014 by vote of Special Town Meeting, Article 10, and approved by the Attorney General on January 15, 2015, and posted according to law on January 21, 2015. Amendments were made to Bus. and Ind. Districts]

District	Min. Lot Area In feet.	Lot Frontage In feet (6.A.1.) (6.A.9.)	Percent of Required Lot area as Contiguous and Buildable (6.A.2.)	Min. Front Yard In feet (6.A.4.)	Min. Side Yards In feet (6.A.4.)	Min. Rear Yard In feet (6.A.4.)	Max. Lot Cov. %	Max. Bldg. Cov. %	Max. Height in feet (6.A.3.)
Res.A	80,000	200	75	40	20	20	30	20	35
Res.B	40,000	200	75	40	20	20	30	25	35
Res.C	20,000 (6.A.5)	150	75	40	20	20	35	30	35
Bus.	N/A	100	50	15	15	15	80	50	35
Ind.	N/A	100	50	50	50	50	65	30	35

Based on West Newbury Res B Zoning Requirements:

- Map 14-57, Archelaus Place (6 acres) has 450' frontage, therefore by right, the property can be split into 2 lots as minimum frontage requirements are 200'. Based on the assessor's map, there appears to be a good amount of wetlands, therefore for the purposes of this report, this parcel is considered oversized and 1 hypothetical building lot.

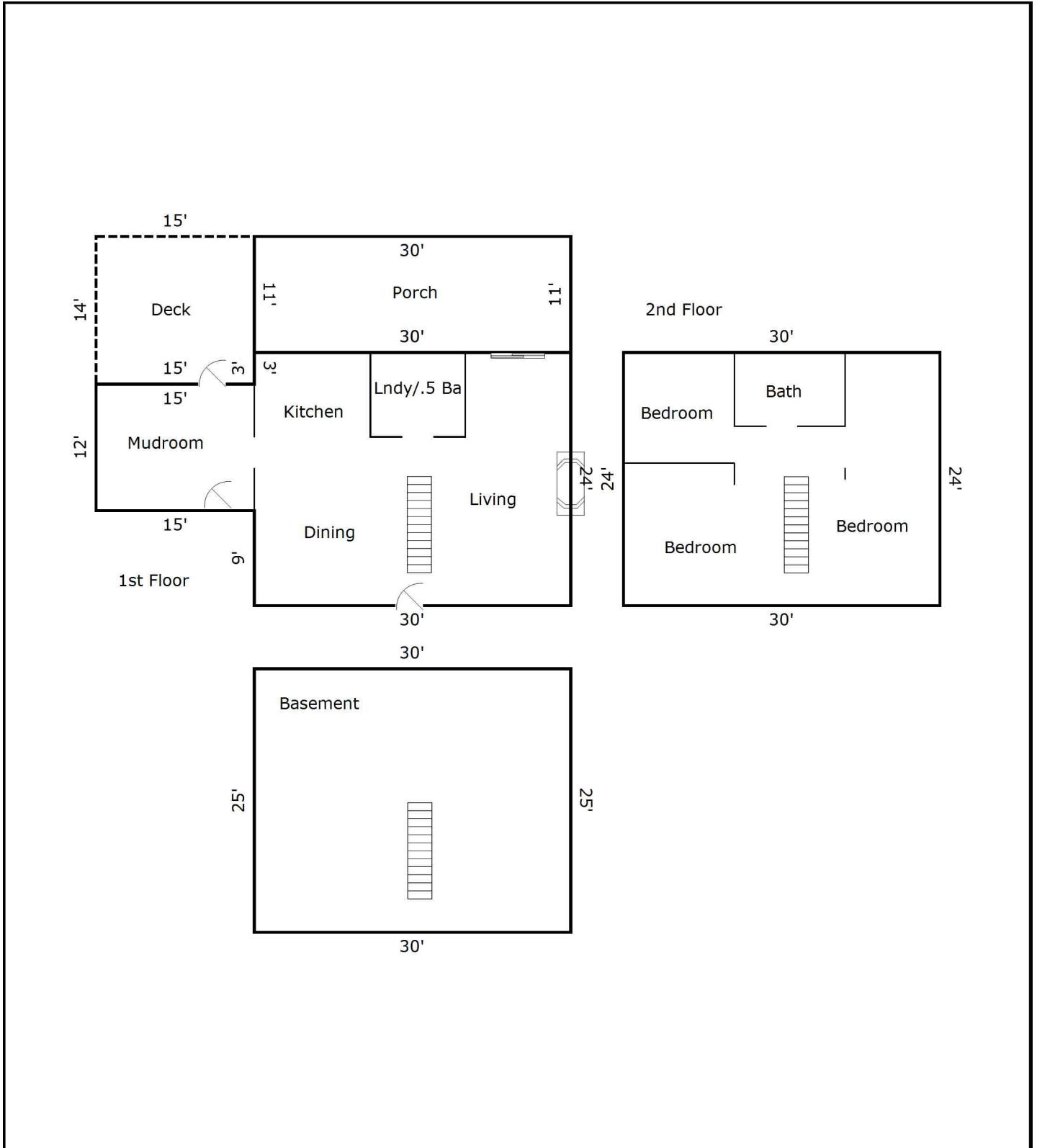
Total Lots: 1 Oversized Residential Building Lot

- 23 Archelaus Place (19.acres) has frontage on both Stewart Street and Archelaus Place. The exact location of the dwelling on Archelaus Place has not been identified, therefore your appraiser is making the assumption by right that Stewart Street (530' F) could have 2 potential lots and Archelaus Place could have 4 potential lots.

Total Lots: 5 Additional Residential Building Lots and 1 Lot with House

Building Sketch

Borrower	Ann Bacheller RT		
Property Address	23 Archelaus Pl		
City	West Newbury	County Essex	State MA Zip Code 01985
Lender/Client	Jill Bacheller		



TOTAL Sketch by a la mode

Area Calculations Summary

Living Area	Calculation Details	
First Floor	900 Sq ft	12 × 15 = 180 24 × 30 = 720
Second Floor	750 Sq ft	25 × 30 = 750
Total Living Area (Rounded):	1650 Sq ft	
Non-living Area		
Open Porch	330 Sq ft	30 × 11 = 330
Wood Deck	210 Sq ft	15 × 14 = 210
Basement	720 Sq ft	24 × 30 = 720

Assessors Field Card, page 1

Borrower	Ann Bacheller RT				
Property Address	23 Archelaus Pl				
City	West Newbury	County	Essex	State	MA Zip Code 01985
Lender/Client	Jill Bacheller				

0140 MAP	0000 BLOCK	00610 LOT	1 of 1 CARD	RESIDENTIAL Town of West Newb	TOTAL ASSESSED: 592,284 !64!
-------------	---------------	--------------	----------------	----------------------------------	---------------------------------

PROPERTY LOCATION				IN PROCESS APPRAISAL SUMMAR				Legal Description		User Acct																
No	Alt No	Direction/Street/City		Use Code	Building Value	Yard Items	Land Size	Land Value	Total Value																	
23		ARCHELAUS PL, WEST NEWB		101	232,800	6,900	1,000	347,200	586,900																	
OWNERSHIP										GIS Ref																
Owner	ANN BACHELLER REALTY TRUST			712			2,000	2,302	2,302																	
Owner	TR ANN & JOHN BACHELLER			713			12,159	2,797	2,797																	
Owner				715			1,000	114	114																	
Street	23 ARCHELAUS PL			Total Card	232,800	6,900	19,159	352,584	592,284	Entered Lot Size																
Twn/Cit	WEST NEWBURY			Total Parcel	232,800	6,900	19,159	352,584	592,284	Total Land: 21																
St/Prov	MA	Cntr	Own Oc	Source: Market Adj Co	Total Value per SQ unit /Card			358.96	/Parc: 358.	Land Unit Type: AC																
Postal: 01985-1609	Type										Insp Date															
PREVIOUS OWNER				PREVIOUS ASSESSMENT				Parcel ID 0140 0000 00610		USER DEFINED																
Owner				Tax Yr	Use	Cat	Bldg Value	Yrd Item	Land Size	Land Value	Total Value	Asses'd Valu	Notes	Date	Prior Id #											
Street				2022	017	FV	200,100	5400	19,159	353,155	558,655	482,402	Year End Roll	1/11/2022	1982											
Twn/Cit				2021	017	FV	160,600	5400	19,159	331,355	497,355	421,102	Year End Roll	12/29/2020												
St/Prov	MA	Cntr	Own Oc	2020	017	FV	157,700	5400	19,159	331,355	494,455	418,202	Year End Roll	11/5/2019												
Postal:				2019	017	FV	163,000	5900	19,159	320,455	489,355	413,002	Year End Roll	11/29/2018												
NARRATIVE DESCRIPTION				2018	017	FV	152,600	17300	19,159	309,555	479,455	403,570	Year End Roll	11/28/2017												
				2017	017	FV	152,600	17300	19,159	298,655	468,555	392,670	Year End Roll	12/5/2016												
				2016	017	FV	152,600	17300	19,159	287,755	457,655	380,821	year end	12/1/2015												
				2015	017	FV	142,000	5800	19,159	436,955	584,755	343,521	Year End Roll	11/19/2014												
OTHER ASSESSMENTS				SALES INFORMATION				TAX DISTRIC		PAT ACCT.		PRINT														
Code	Descrip/No	Amount	Com. Int	Grantor	Legal Ref	Typ	Date	Sale Code	Sale Price	V	Tst	Verif	Assoc PCL Value	Notes	Date	Time										
														03/07/2 18:01:2												
														LAST R												
														04/25/1 15:42:5												
														mcurtin												
														64												
PROPERTY FACTORS				BUILDING PERMITS				ACTIVITY INFORMATION				Sign														
ite	Code	Descip	%	Item	Cod	Descip	Date	Number	Descip	Amount	C/O	Last Visit	Fed Cod	F. Descip	Comment	Date	Result	By	Name							
Z				U	s	ART WL										7/13/2015	MEAS/LFTNTC	406	ROB							
o				t												8/25/2012	ENTRY DENIED	750	STEVE WHALEN							
n				i												9/7/2000	MEASURED	LH	DATA COLLECTR							
Census:				xmpt																						
Flood Haz:				Topo 2 MODER																						
D				Stree 1 PAVED																						
s				Traffi 2 LIGHT																						
t																										
LAND SECTION (First 7 lines only)																										
Use	Description	LUC	No of	Depth /	Unit	Land	LT	Base	Unit	Adj	Neigh	Neigh	Infl 1	%	Infl 2	%	Infl 3	%	Appraised	Alt	Spec	J	Fact	Use	Value	Notes
Code		Fact	Units	Price/Units	Type	Type	Facto	Value	Price		Influ	eigh	%		%		%		Value	Class	Land	Code	Use	Value		
Total AC/H 19.15880 Total SF/S 834557.31 Parcel LU 017 RES/AG Prime NB D EARLY GD Total: Spl Cre Total:																										



Assessors Field Card, page 2

Borrower	Ann Bacheller RT			
Property Address	23 Archelaus Pl			
City	West Newbury	County Essex	State MA	Zip Code 01985
Lender/Client	Jill Bacheller			

EXTERIOR INFORMATION Type: 6 - COLONIAL Sty Ht: 2 - 2 (Liv) Units: 1 Total: 1 Foundation: 1 - POURED Frame: 1 - WOOD Prime Wa: 2 - CLAPBOARD Sec Wall: % Roof Stru: 1 - GABLE Roof Cov: 1 - ASPHALT SH Color: BROWN View / De:	BATH FEATURES Full Ba: 1 Ratin: AVERAGE A Bath: Ratin: 3/4 Bat: Ratin: A 3QBt: Ratin: 1/2 Bat: 1 Ratin: AVERAGE A HBth: Ratin: OthrFix: Ratin:	COMMENTS CH 61A LAND GIFTED TO DAUGHTER AND SON IN LAW NEW LOT 14-61C NOW LAND WAS TOTAL 21 ACRES NOW 19.1588 ACRES MAP CHANGE FY16 MS.	SKETCH 																																																																												
GENERAL INFORMATION Grade: C - AVERAGE Year Blt: 1962 Eff Yr Blt: Alt LUC: Alt %: Jurisdict: Fact: Const Mod: Lump Sum Adj:	OTHER FEATURES Kits: 1 Ratin: NORMAL A Kits: Ratin: Frpl: 1 Ratin: AVERAGE WSFlu: Ratin:	RESIDENTIAL GRID 1st Res G Des Line 1 # Unit 1 Level FY LR DR D K FR RR BR FB HB L O Othe: Upp: Lvl 2: Lvl 1: Low: Total RMS: 6 BR 4 Bath 1 H 1	REMODELING RES BREAKDOWN Exterior: No Uni RMS BRS FL Interior: 1 6 4 Addition: Kitchen: Baths: Plumbin: Electric: Heating: General: Totals: 1 6 4																																																																												
INTERIOR INFORMATION Avg Ht/FL: STD Prim Int: 1 - DRYWALL Sec Int W: % Partition: T - TYPICAL Prim Floor: 3 - HARDWOOD Sec Floor: % Bsmnt Flr: 12 - CONCRETE Bsmnt Ga: Electric: 3 - TYPICAL Insulation: 2 - TYPICAL Int vs Ext: S Heat Fuel: 1 - OIL Heat Typ: 3 - FORCED H/W # Heat Sy: 1 % Heated: 100 % AC: Solar HW: NO Central V NO % Com: % Sprinkl:	DEPRECIATION Phys Con AV - Average 31.4% Functiona: % Economic: % Special: % Override: % Total: 31.4%	CALC SUMMARY Basic \$ / SQ: 125.00 Size Adj.: 1.2575757 Const Adj.: 1.0377694 Adj \$ / SQ: 163.134 Other Features: 30600 Grade Factor: 1.00 Neighborhood I: 1.0000000 LUC Factor: 1.00 Adj Total: 339411 Depreciation: 106575 Depreciated Tot: 232836	COMPARABLE SALES <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rate</th> <th>Parcel ID</th> <th>Typ</th> <th>Date</th> <th>Sale Price</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> WtAvS/S: AvRat: Ind.V: Juris. Factor: Before De 163.13 Special Featur: 0 Val/Su Ne 80.00 Final Total: 232800 Val/Su Sz 141.09	Rate	Parcel ID	Typ	Date	Sale Price																																																																							
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SPEC FEATURES/YARD ITEMS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Code</th> <th>Description</th> <th>A</th> <th>Y</th> <th>Qty</th> <th>Size/Dim</th> <th>Qual</th> <th>Con</th> <th>Year</th> <th>Unit Price</th> <th>D/ Dep</th> <th>LUC</th> <th>Fact</th> <th>NB F</th> <th>Appr Value</th> <th>JCo JFac</th> <th>Juris. Value</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> More: Total Yard Item: Total Special Featur: Total:	Code	Description	A	Y	Qty	Size/Dim	Qual	Con	Year	Unit Price	D/ Dep	LUC	Fact	NB F	Appr Value	JCo JFac	Juris. Value																		PARCEL ID 0140 0000 00610 Net Sketched Area: 2,910 Total: 308,811 Size A: 1650 Gross Ar: 2910 FinAr: 1650	SUB AREA <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Code</th> <th>Description</th> <th>Area - SQ</th> <th>Rate - AV</th> <th>Undepr Value</th> </tr> </thead> <tbody> <tr> <td>FFL</td> <td>1ST FLOOR</td> <td>900</td> <td>163.130</td> <td>146,821</td> </tr> <tr> <td>SFL</td> <td>2ND FLOOR</td> <td>750</td> <td>163.130</td> <td>122,351</td> </tr> <tr> <td>BMT</td> <td>BASEMENT</td> <td>720</td> <td>40.780</td> <td>29,364</td> </tr> <tr> <td>OFF</td> <td>OPEN PORCH</td> <td>330</td> <td>22.580</td> <td>7,450</td> </tr> <tr> <td>WDK</td> <td>DECK</td> <td>210</td> <td>13.450</td> <td>2,825</td> </tr> </tbody> </table>	Code	Description	Area - SQ	Rate - AV	Undepr Value	FFL	1ST FLOOR	900	163.130	146,821	SFL	2ND FLOOR	750	163.130	122,351	BMT	BASEMENT	720	40.780	29,364	OFF	OPEN PORCH	330	22.580	7,450	WDK	DECK	210	13.450	2,825	SUB AREA DETAIL <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Sub Area</th> <th>% Usbl</th> <th>Descrip</th> <th>% Type</th> <th>Qu</th> <th># Ten</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Sub Area	% Usbl	Descrip	% Type	Qu	# Ten						
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IMAGE <i>AssessPro</i> Patriot Properties, Inc																																																																															
23 ARCHELAUS PL																																																																															

Deed, page 1

Borrower	Ann Bacheller RT				
Property Address	23 Archelaus Pl				
City	West Newbury	County	Essex	State	MA Zip Code 01985
Lender/Client	Jill Bacheller				



QUITCLAIM DEED

Ann Bacheller, of West Newbury, Massachusetts

for consideration paid, and in full consideration of less than One Hundred (\$100.00) Dollars

grants to Ann Bacheller and John Bacheller, Trustees of the Ann Bacheller Realty Trust, u/d/t dated June 12, 2014 recorded with Essex South District Registry of Deeds herewith

with QUITCLAIM COVENANTS

all my right, title and interest in and to the following premises:

The land, with the buildings thereon, situated in said West Newbury, containing 25 acres and bounded and described as follows, viz:

Northerly by Archelaus Place, formerly called the road leading to Town Farm;
Easterly by land now or formerly of Thompson, formerly the Town Farm;
Southerly by land now or formerly E.G. Gay; and
Westerly by Stewart Street.

ALSO another lot of land situate in said West Newbury, being a pasture containing about 5 acres, and bounded as follows, viz:

Southerly by Archelaus Place;
Easterly by land now or formerly of George E. Kelley;
Northerly by land now or formerly of said Kelley; and
Westerly by land now or formerly of George E. Noyes.

ALSO another lot of land, situate in said West Newbury, containing 15 acres, and bounded as follows, viz:

Southerly by land now or formerly of the Town of West Newbury;
Easterly by land now or formerly of William S. Rogers;
Northerly by land now or formerly of said Rogers and the Town of West Newbury; and
Westerly by land now or formerly of the Town of West Newbury.

Property Address: Land On Archelaus Place, West Newbury, MA
Grantee Address: 23 Archelaus Place, west Newbury, MA 01985

Deed, page 2

Borrower	Ann Bacheller RT				
Property Address	23 Archelaus Pl				
City	West Newbury	County	Essex	State	MA Zip Code 01985
Lender/Client	Jill Bacheller				

Excluding, however, from this conveyance, that portion of the above described premises which was conveyed by William Hills to Phillip F. Hills by deed dated April 23, 1942, recorded with said Registry of Deeds in Book 3323, Page 594.

Also excluding the premises described in a deed to Richard Bacheller and Gail Bacheller recorded with said Registry of Deeds in Book 6996, Page 75 AND premises described in a deed to John Bacheller recorded with said Registry of Deeds in Book 9216, Page 343.

ALSO, a certain lot of woodland situated in West Newbury in said County, bounded and described as follows:

Commencing at a point adjoining land of the "Angel Guardian" so called, thence running

- Westerly 124 feet to a boulder by land now or formerly of William Hills; thence running
- Northerly 296 feet to another boulder by land now or formerly of said William Hills; thence running
- Easterly to a point by land now or formerly of said Angel Guardian 116 feet; and thence running
- Southerly by land now or formerly of said Angel Guardian 296 feet to the starting point.

Being all and the same premises conveyed to Richard M. Bacheller and Barbara C. Bacheller by deed dated December 24, 1962 recorded in Essex South District Registry of Deeds in Book 5031, Page 157.

For my title, see Essex Probate #94P 2242-EP1. Also, see deed recorded with said Registry of Deeds in Book 4443, Page 482.

Witness my hand and seal this 12th day of June, 2014.

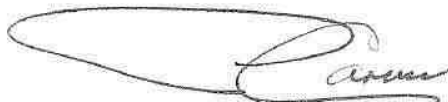

Ann Bacheller

COMMONWEALTH OF MASSACHUSETTS

Essex, ss.

On this 12th day of June, 2014 before me, the undersigned notary public, personally appeared Ann Bacheller, proved to me through satisfactory evidence of identification, which were Photo ID, to be the persons whose names are signed to this preceding document and acknowledged to me that they signed it voluntarily for its stated purpose.

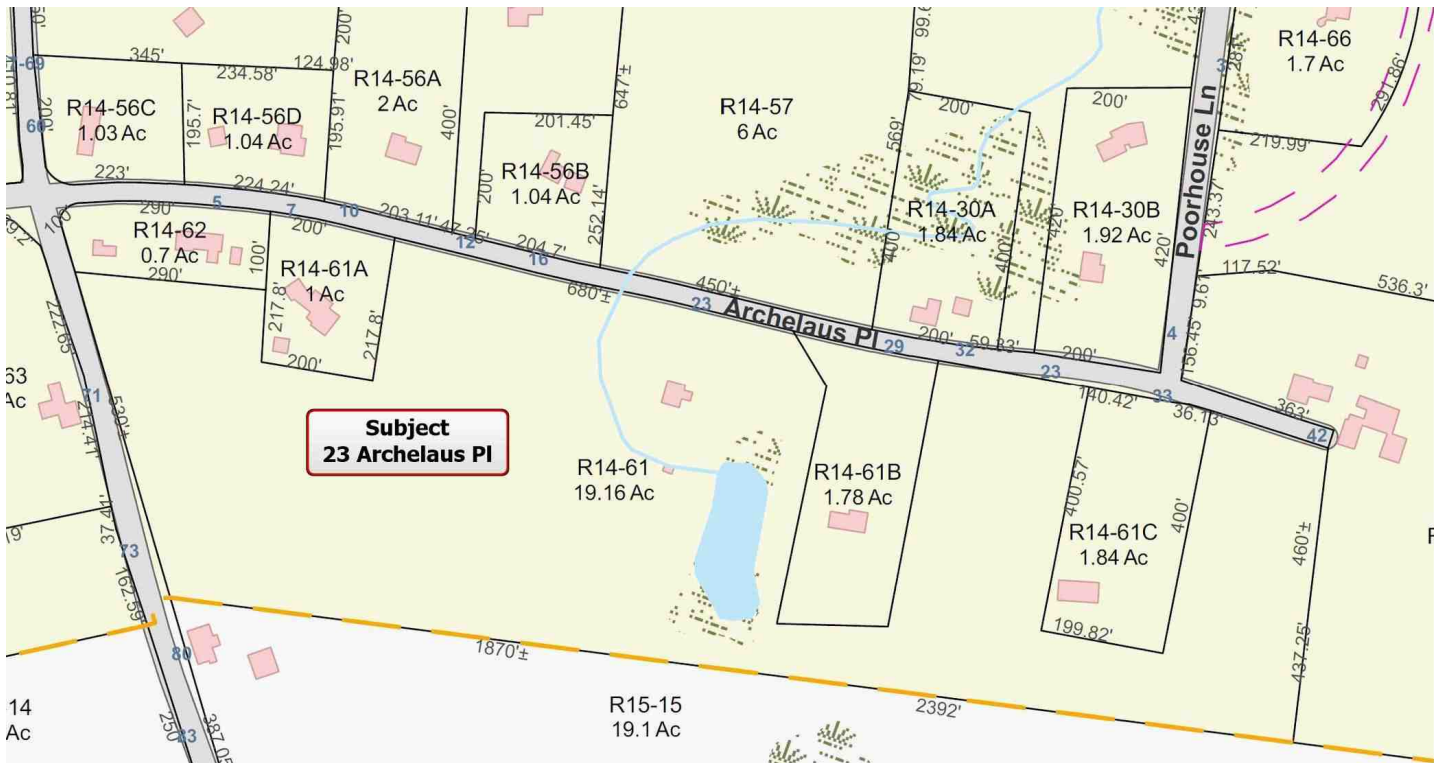




Notary Public, Peter J. Caruso
My Commission expires: 11/17/17

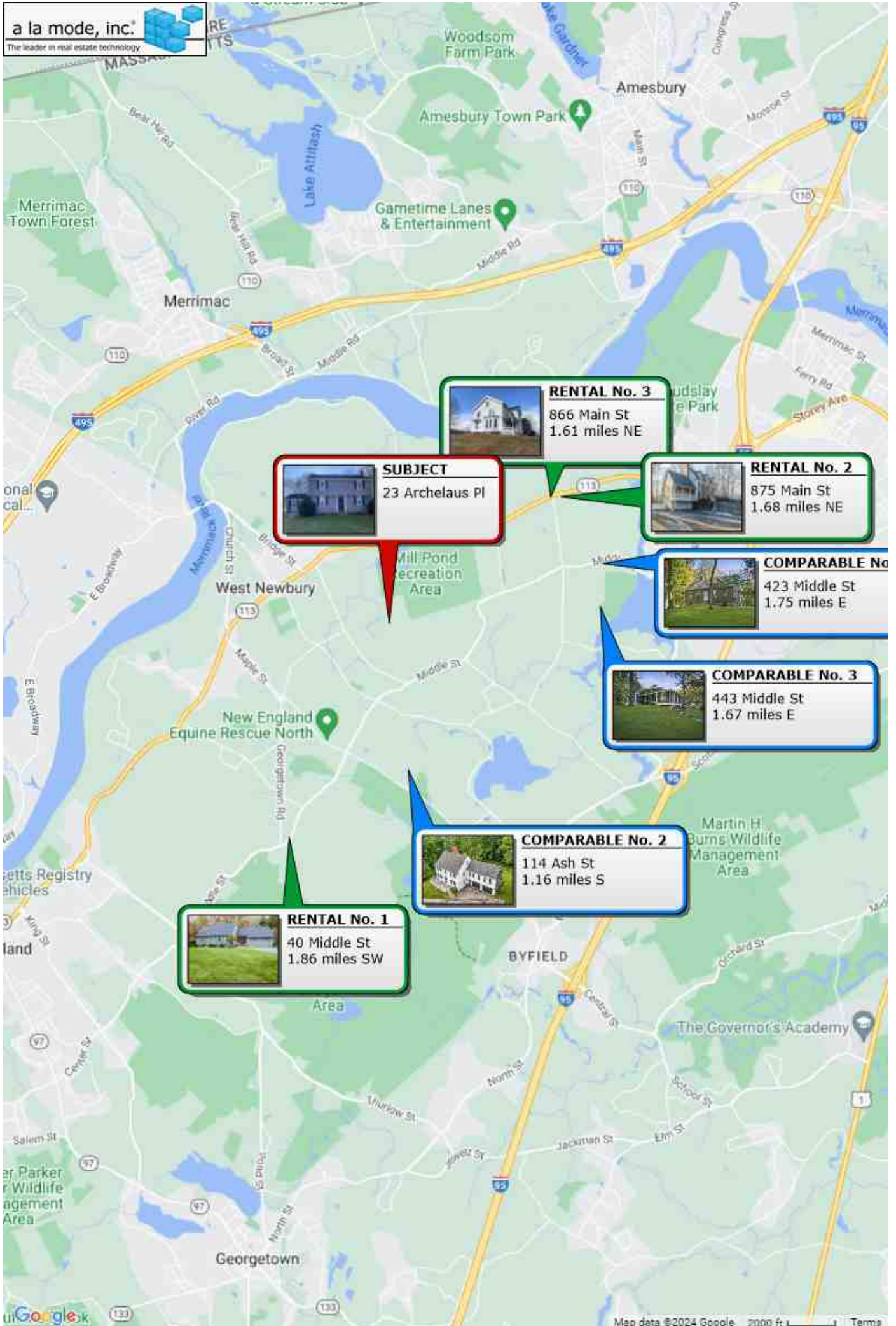
Assessors Map 14 Lot 61

Borrower	Ann Bacheller RT		
Property Address	23 Archelaus Pl		
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Lender/Client	Jill Bacheller		



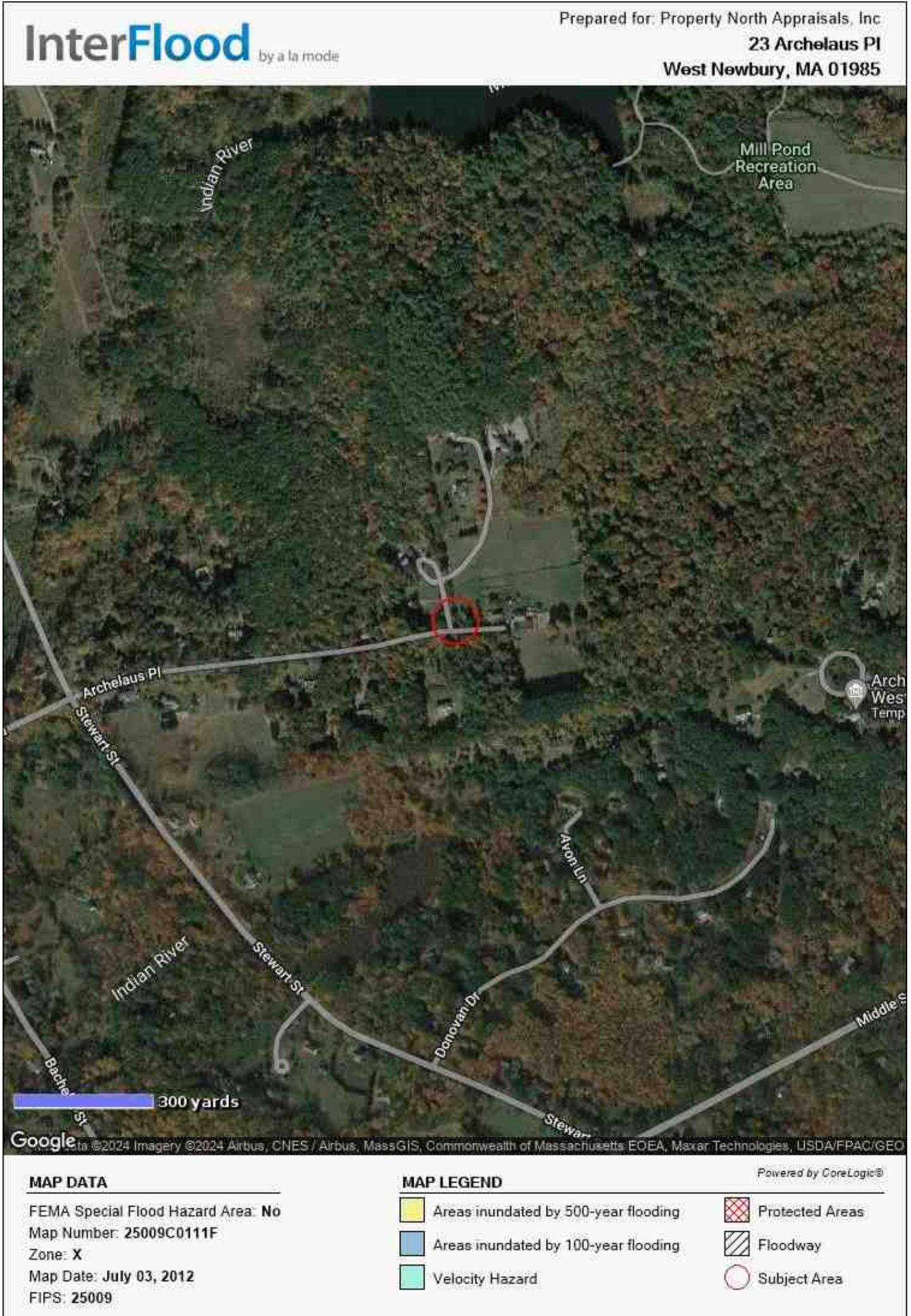
Location Map

Borrower	Ann Bacheller RT			
Property Address	23 Archelaus Pl			
City	West Newbury	County Essex	State MA	Zip Code 01985
Lender/Client	Jill Bacheller			



Flood Map

Borrower	Ann Bacheller RT			
Property Address	23 Archelaus Pl			
City	West Newbury	County Essex	State MA	Zip Code 01985
Lender/Client	Jill Bacheller			



Subject Photo Page

Borrower	Ann Bacheller RT						
Property Address	23 Archelaus Pl						
City	West Newbury	County	Essex	State	MA	Zip Code	01985
Lender/Client	Jill Bacheller						



Subject Front

23 Archelaus Pl
Sales Price
G.L.A. 1,650
Tot. Rooms 7
Tot. Bedrms. 3
Tot. Bathrms. 1.1
Location Good/Back Road
View Fields,Wds,S Pnd
Site 19.16 Acres
Quality Good/Post & Beam
Age 61



Subject Rear



Subject Street

Photograph Addendum

Borrower	Ann Bacheller RT				
Property Address	23 Archelaus Pl				
City	West Newbury	County	Essex	State	MA Zip Code 01985
Lender/Client	Jill Bacheller				



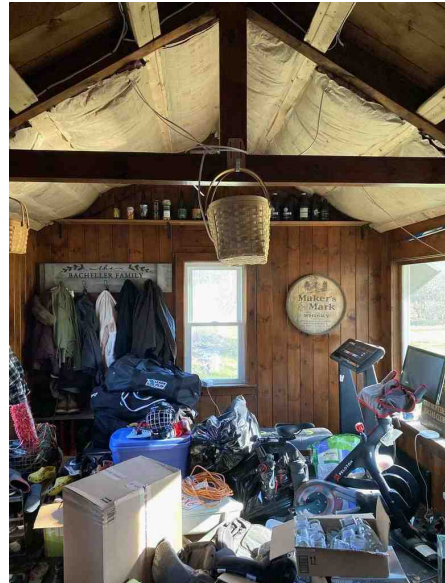
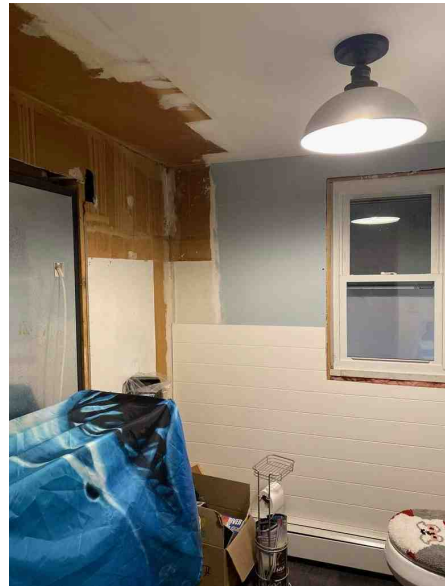
Photograph Addendum

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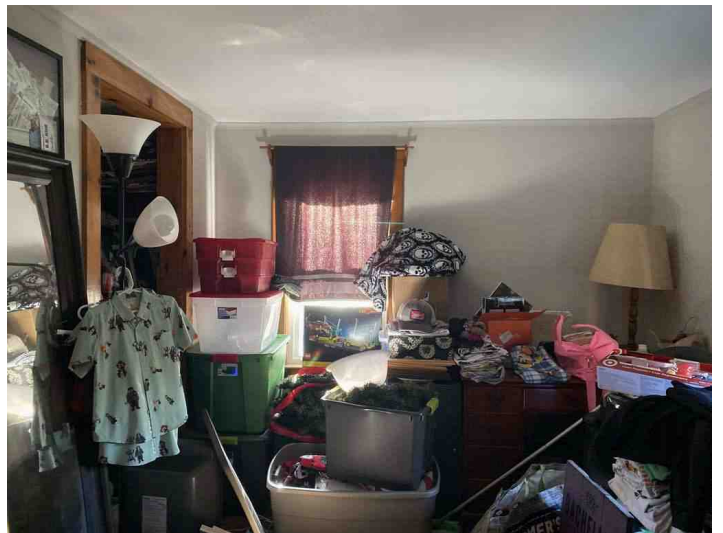
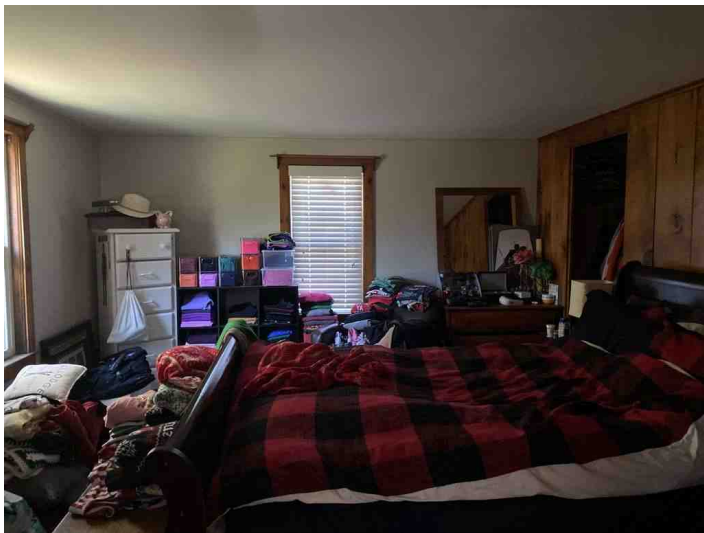
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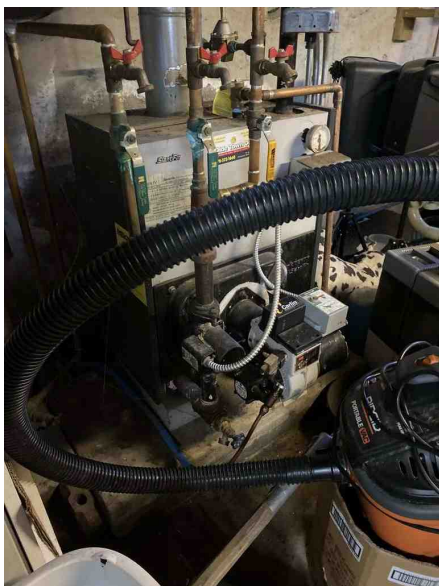
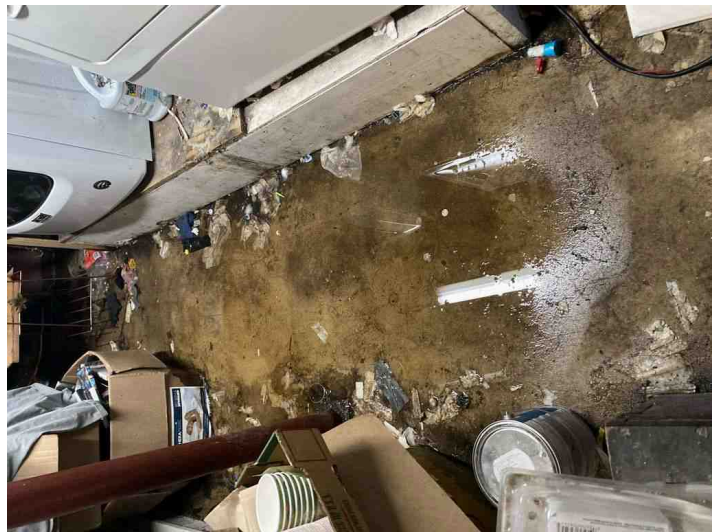
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Photograph Addendum

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Photograph Addendum

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Photograph Addendum

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Comparable Photo Page

Borrower	Ann Bacheller RT				
Property Address	23 Archelaus Pl				
City	West Newbury	County Essex	State MA	Zip Code 01985	
Lender/Client	Jill Bacheller				



Comparable 1

423 Middle St
 Proximity 1.75 miles E
 Sale Price 1,600,000
 GLA 1,188
 Total Rooms 6
 Total Bedrms 3
 Total Bathrms 1
 Location Good/Back Road
 View Neighborhood
 Site 18.3 Acres
 Quality Inferior/Gutted
 Age B: 1961



Comparable 2

114 Ash St
 Proximity 1.16 miles S
 Sale Price 2,000,000
 GLA 3,173
 Total Rooms 8
 Total Bedrms 3
 Total Bathrms 2
 Location Good/Back Road
 View Neighborhood
 Site 36 Acres
 Quality Good/Post & Beam
 Age B: 1727



Comparable 3

443 Middle St
 Proximity 1.67 miles E
 Sale Price 1,900,000
 GLA 3,193
 Total Rooms 10
 Total Bedrms 3
 Total Bathrms 1.3
 Location Good/Back Road
 View Artichoke Reserv
 Site 10 Acres
 Quality Good/Contemp
 Age B: 1952

423 Middle Street, West Newbury MLS Photos

Borrower	Ann Bacheller RT				
Property Address	23 Archelaus Pl				
City	West Newbury	County	Essex	State	MA Zip Code 01985
Lender/Client	Jill Bacheller				



114 Ash Street, West Newbury MLS Photos

Borrower	Ann Bacheller RT				
Property Address	23 Archelaus Pl				
City	West Newbury	County	Essex	State	MA Zip Code 01985
Lender/Client	Jill Bacheller				



443 Middle Street, West Newbury MLS Photos

Borrower	Ann Bacheller RT				
Property Address	23 Archelaus Pl				
City	West Newbury	County	Essex	State	MA Zip Code 01985
Lender/Client	Jill Bacheller				



Assumptions, Limiting Conditions & Scope of Work

PNA, Inc 978-521-6900

File No.: 230055

Property Address: 23 Archelaus Pl City: West Newbury State: MA Zip Code: 01985

Client: Jill Bacheller Address: 29 Archelaus Place, West Newbury, MA 01985

Appraiser: Kristen-Anne Leone Address: P.O.Box 2009, Haverhill, MA 01831-2009

STATEMENT OF ASSUMPTIONS & LIMITING CONDITIONS

- The appraiser will not be responsible for matters of a legal nature that affect either the property being appraised or the title to it. The appraiser assumes that the title is good and marketable and, therefore, will not render any opinions about the title. The property is appraised on the basis of it being under responsible ownership.
- The appraiser may have provided a sketch in the appraisal report to show approximate dimensions of the improvements, and any such sketch is included only to assist the reader of the report in visualizing the property and understanding the appraiser's determination of its size. Unless otherwise indicated, a Land Survey was not performed.
- If so indicated, the appraiser has examined the available flood maps that are provided by the Federal Emergency Management Agency (or other data sources) and has noted in the appraisal report whether the subject site is located in an identified Special Flood Hazard Area. Because the appraiser is not a surveyor, he or she makes no guarantees, express or implied, regarding this determination.
- The appraiser will not give testimony or appear in court because he or she made an appraisal of the property in question, unless specific arrangements to do so have been made beforehand.
- If the cost approach is included in this appraisal, the appraiser has estimated the value of the land in the cost approach at its highest and best use, and the improvements at their contributory value. These separate valuations of the land and improvements must not be used in conjunction with any other appraisal and are invalid if they are so used. Unless otherwise specifically indicated, the cost approach value is not an insurance value, and should not be used as such.
- The appraiser has noted in the appraisal report any adverse conditions (including, but not limited to, needed repairs, depreciation, the presence of hazardous wastes, toxic substances, etc.) observed during the inspection of the subject property, or that he or she became aware of during the normal research involved in performing the appraisal. Unless otherwise stated in the appraisal report, the appraiser has no knowledge of any hidden or unapparent conditions of the property, or adverse environmental conditions (including, but not limited to, the presence of hazardous wastes, toxic substances, etc.) that would make the property more or less valuable, and has assumed that there are no such conditions and makes no guarantees or warranties, express or implied, regarding the condition of the property. The appraiser will not be responsible for any such conditions that do exist or for any engineering or testing that might be required to discover whether such conditions exist. Because the appraiser is not an expert in the field of environmental hazards, the appraisal report must not be considered as an environmental assessment of the property.
- The appraiser obtained the information, estimates, and opinions that were expressed in the appraisal report from sources that he or she considers to be reliable and believes them to be true and correct. The appraiser does not assume responsibility for the accuracy of such items that were furnished by other parties.
- The appraiser will not disclose the contents of the appraisal report except as provided for in the Uniform Standards of Professional Appraisal Practice, and any applicable federal, state or local laws.
- If this appraisal is indicated as subject to satisfactory completion, repairs, or alterations, the appraiser has based his or her appraisal report and valuation conclusion on the assumption that completion of the improvements will be performed in a workmanlike manner.
- An appraiser's client is the party (or parties) who engage an appraiser in a specific assignment. Any other party acquiring this report from the client does not become a party to the appraiser-client relationship. Any persons receiving this appraisal report because of disclosure requirements applicable to the appraiser's client do not become intended users of this report unless specifically identified by the client at the time of the assignment.
- The appraiser's written consent and approval must be obtained before this appraisal report can be conveyed by anyone to the public, through advertising, public relations, news, sales, or by means of any other media, or by its inclusion in a private or public database.
- An appraisal of real property is not a 'home inspection' and should not be construed as such. As part of the valuation process, the appraiser performs a non-invasive visual inventory that is not intended to reveal defects or detrimental conditions that are not readily apparent. The presence of such conditions or defects could adversely affect the appraiser's opinion of value. Clients with concerns about such potential negative factors are encouraged to engage the appropriate type of expert to investigate.

The Scope of Work is the type and extent of research and analyses performed in an appraisal assignment that is required to produce credible assignment results, given the nature of the appraisal problem, the specific requirements of the intended user(s) and the intended use of the appraisal report. Reliance upon this report, regardless of how acquired, by any party or for any use, other than those specified in this report by the Appraiser, is prohibited. The Opinion of Value that is the conclusion of this report is credible only within the context of the Scope of Work, Effective Date, the Date of Report, the Intended User(s), the Intended Use, the stated Assumptions and Limiting Conditions, any Hypothetical Conditions and/or Extraordinary Assumptions, and the Type of Value, as defined herein. The appraiser, appraisal firm, and related parties assume no obligation, liability, or accountability, and will not be responsible for any unauthorized use of this report or its conclusions.

Additional Comments (Scope of Work, Extraordinary Assumptions, Hypothetical Conditions, etc.):

Certifications

Property Address: 23 Archelaus Pl	City: West Newbury	State: MA	Zip Code: 01985
Client: Jill Bacheller	Address: 29 Archelaus Place, West Newbury, MA 01985		
Appraiser: Kristen-Anne Leone	Address: P.O.Box 2009, Haverhill, MA 01831-2009		

APPRAISER'S CERTIFICATION

I certify that, to the best of my knowledge and belief:

- The statements of fact contained in this report are true and correct.
- The credibility of this report, for the stated use by the stated user(s), of the reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
- I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
- Unless otherwise indicated, I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
- I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
- My engagement in this assignment was not contingent upon developing or reporting predetermined results.
- My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice that were in effect at the time this report was prepared.
- I did not base, either partially or completely, my analysis and/or the opinion of value in the appraisal report on the race, color, religion, sex, handicap, familial status, or national origin of either the prospective owners or occupants of the subject property, or of the present owners or occupants of the properties in the vicinity of the subject property.
- Unless otherwise indicated, I have made a personal inspection of the property that is the subject of this report.
- Unless otherwise indicated, no one provided significant real property appraisal assistance to the person(s) signing this certification.

Additional Certifications:

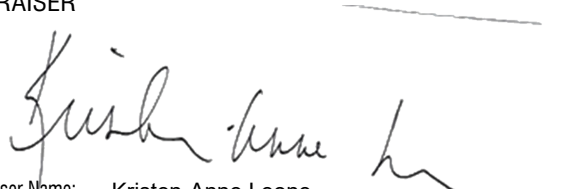
DEFINITION OF MARKET VALUE *:

Market value means the most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

1. Buyer and seller are typically motivated;
2. Both parties are well informed or well advised and acting in what they consider their own best interests;
3. A reasonable time is allowed for exposure in the open market;
4. Payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and
5. The price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.

* This definition is from regulations published by federal regulatory agencies pursuant to Title XI of the Financial Institutions Reform, Recovery, and Enforcement Act (FIRREA) of 1989 between July 5, 1990, and August 24, 1990, by the Federal Reserve System (FRS), National Credit Union Administration (NCUA), Federal Deposit Insurance Corporation (FDIC), the Office of Thrift Supervision (OTS), and

Client Contact: Jill Bacheller	Client Name: Jill Bacheller
E-Mail: jbacheller@outlook.com	Address: 29 Archelaus Place, West Newbury, MA 01985

<p>APPRAISER</p>  <p>Appraiser Name: Kristen-Anne Leone Company: Property North Appraisals, Inc Phone: (978) 521-6900 Fax: (978) 945-1062 E-Mail: PropertyNorthAppraisals@Gmail.com Date Report Signed: 01/03/2024 License or Certification #: 1291 CG State: MA Designation: _____ Expiration Date of License or Certification: 09/23/2025 Inspection of Subject: <input checked="" type="checkbox"/> Interior & Exterior <input type="checkbox"/> Exterior Only <input type="checkbox"/> None Date of Inspection: 12/19/23</p>	<p>SUPERVISORY APPRAISER (if required) or CO-APPRAISER (if applicable)</p> <p>Supervisory or Co-Appraiser Name: _____ Company: _____ Phone: _____ Fax: _____ E-Mail: _____ Date Report Signed: _____ License or Certification #: _____ State: _____ Designation: _____ Expiration Date of License or Certification: _____ Inspection of Subject: <input type="checkbox"/> Interior & Exterior <input type="checkbox"/> Exterior Only <input type="checkbox"/> None Date of Inspection: _____</p>
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SIGNATURES

Borrower	Ann Bacheller RT	File No.	230055
Property Address	23 Archelaus Pl		
City	West Newbury	County	Essex
		State	MA
		Zip Code	01985
Lender/Client	Jill Bacheller		

APPRAISAL AND REPORT IDENTIFICATION

This Report is one of the following types:

- Appraisal Report (A written report prepared under Standards Rule 2-2(a), pursuant to the Scope of Work, as disclosed elsewhere in this report.)
- Restricted Appraisal Report (A written report prepared under Standards Rule 2-2(b), pursuant to the Scope of Work, as disclosed elsewhere in this report, restricted to the stated intended use by the specified client or intended user.)

Comments on Standards Rule 2-3

I certify that, to the best of my knowledge and belief:

- The statements of fact contained in this report are true and correct.
- The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
- Unless otherwise indicated, I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
- Unless otherwise indicated, I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
- I have no bias with respect to the property that is the subject of this report or the parties involved with this assignment.
- My engagement in this assignment was not contingent upon developing or reporting predetermined results.
- My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice that were in effect at the time this report was prepared.
- Unless otherwise indicated, I have made a personal inspection of the property that is the subject of this report.
- Unless otherwise indicated, no one provided significant real property appraisal assistance to the person(s) signing this certification (if there are exceptions, the name of each individual providing significant real property appraisal assistance is stated elsewhere in this report).

Reasonable Exposure Time

(USPAP defines Exposure Time as the estimated length of time that the property interest being appraised would have been offered on the market prior to the hypothetical consummation of a sale at market value on the effective date of the appraisal.)

My Opinion of Reasonable Exposure Time for the subject property at the market value stated in this report is: _____

3-6 months due to the lack of inventory.

Comments on Appraisal and Report Identification

Note any USPAP-related issues requiring disclosure and any state mandated requirements:

Your appraiser has not provided any services for the subject property within the past 3 years.

APPRAISER:

Signature: 

Name: Kristen-Anne Leone

State Certification #: 1291 CG

or State License #: _____

State: MA Expiration Date of Certification or License: 09/23/2025

Date of Signature and Report: 01/03/2024

Effective Date of Appraisal: 12/19/23

Inspection of Subject: None Interior and Exterior Exterior-Only

Date of Inspection (if applicable): 12/19/23

SUPERVISORY or CO-APPRAISER (if applicable):

Signature: _____

Name: _____

State Certification #: _____

or State License #: _____

State: _____ Expiration Date of Certification or License: _____

Date of Signature: _____

Inspection of Subject: None Interior and Exterior Exterior-Only

Date of Inspection (if applicable): _____

Appraiser Qualifications

Borrower	Ann Bacheller RT			
Property Address	23 Archelaus Pl			
City	West Newbury	County Essex	State MA	Zip Code 01985
Lender/Client	Jill Bacheller			

Qualifications of Kristen Leone

Kristen-Anne Leone
Property North Appraisals, Inc
P.O.Box 2009, Haverhill, MA 01831
Certified General Real Estate Appraiser
Massachusetts License MACG-1291, Expires 9-23-2025
New Hampshire License NHCG-486, Expires 9-30-2024

Education: Salem State College, Salem Massachusetts
Bachelor of Science in Business Administration, 1985

Experience:
June 1989 to Present: CO-OWNER, PROPERTY NORTH APPRAISALS, INC est 1989
 Property North Appraisals, Inc. - President
 Full Time Certified General Real Estate Appraiser.
 Our firm specializes in preparing reports on properties in both southern New Hampshire and northeastern Massachusetts. Our experienced appraisers specialize in specific towns and cities within these areas.

Client references upon request.

June 1985 to June 1989: FEE APPRAISER
 Full time appraiser, with local Massachusetts firms. Responsibilities include; appraising single family, condominiums, multi-family, mixed use, commercial, relocation, in-house and on the road reviews and training new appraisers in the field

Other:
Residential and Commercial Appraiser, MA & NH
FHA Appraiser: Massachusetts and New Hampshire
Relocation Appraiser
Appraisal Institute: Practicing Affiliate
Consulting and Real Estate Mediation
MA Real Estate Salesperson #62110, expires 9-23-25
Board Member: Greater Newburyport Board of Realtors 2016 & 2017



Kristen Leone, Cell 508-633-2960, KristenLeoneAppraiser@Gmail.com, www.PropNorth.com

May 6th, 2024

Reference

Subject Address- 23 Archelaus Place West Newbury, Ma 01985

Legal Description City South Essex Registry of Deeds, Book 33354 Page 297 (www.salemdeeds.com)

West Newbury

County State Essex MA 01985

Zip Code Census Tract Map Reference

2631.00 15764

To: West Newbury Town Manager

Cc Selectman

Planning Board

Conservation Committee

Assessor

State Forestry

Ellen C. Shimer-McGuire, Esq

We, John and Jill Bacheller are filing a letter of intent, first right of refusal to remove one parcel of land from 61A . The land parcel is located at 23 Archelaus Place which consists of a residential property and 19.16 acres with frontage on Stewart Street (map attached). Record of deed is South Essex Registry of Deeds, Book 33354 Page 297. The estimated lot size is 1.25 acres, the final acreage may change slightly once the survey is complete. A formal appraisal was recently completed with an estimated value of \$400,00, (attached). The survey of land is being done in conjunction with the submittal of this letter of intent, and town approval. The perk test will be completed once there is a pre-sale agreement in place.

The reason for sale is financial, as part of a divorce settlement. To preserve **all** the property of Ann Bacheller Reality Trust (John/Jill Bacheller trustees) the trustees need to sell one house lot outlined in court order. Intent to file mutual separation agreement which will prevent any/all of the remaining property from being sold as part of settlement determined by the court.

We understand the time allotment is 120 days, we would appreciate if you can provide us with an answer at your soonest determination. Your response will include the rollback tax price per acre that will be incurred. If there is any additional information the town will require, or additional questions to determine the first right of refusal, please contact us. This is the last option of both parties, time has been consumed throughout the process, we are asking the town

to please notify us with any questions, request for more information, decision once it is determined.

The map location is attached. The frontage will be the min requirement with access on Stewart Street, any additional building lots would require an additional purchase of property, town first right of refusal (unable to subdivide). Both parties intent is to maintain as much open space as possible and continue to agriculturally maintain the property to ensure.

Sincerely,

John Bacheller

Jill Bacheller

John & Jill Bacheller

Attachments

- -Full appraisal completed on 23 Archelaus Place
- -9 pages extracted from appraisal highlighting specific house lot
- -Map with details of location

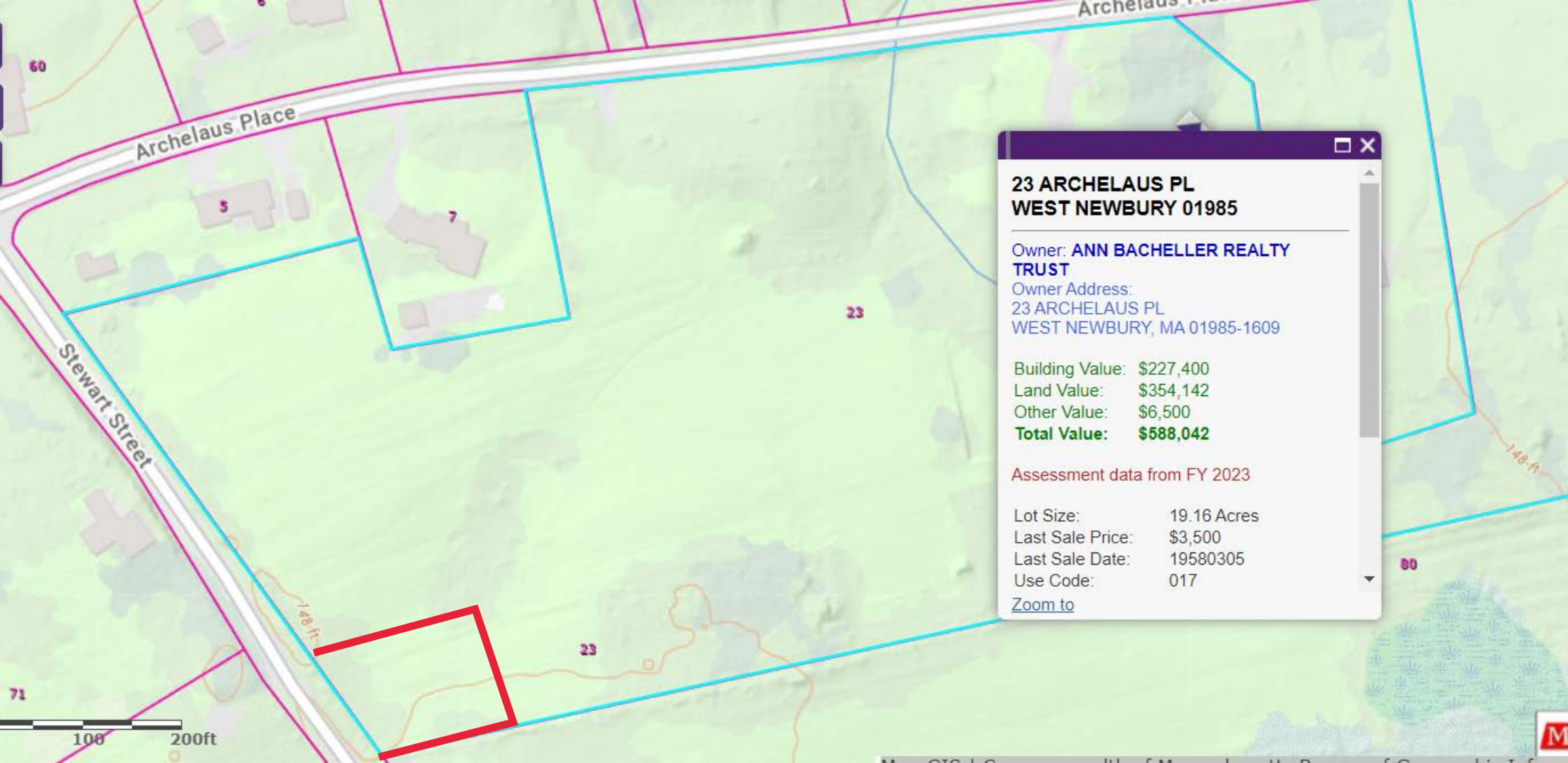
Contact information

Jill Bacheller 978-873-0110 jbacheller@outlook.com

John Bacheller 978-363-2604

Any mailed copies be sent to both Jill Bacheller, 96 7 Star Road, Groveland, Ma 01834 and John Bacheller 29 Archelaus Place, West Newbury, Ma

Hard copies will be delivered in hand within 24 hours including the notarized affidavit stating such were delivered.



Archelaus Place

Stewart Street

**23 ARCHELAUS PL
WEST NEWBURY 01985**

Owner: **ANN BACHELLER REALTY TRUST**
Owner Address:
23 ARCHELAUS PL
WEST NEWBURY, MA 01985-1609

Building Value: \$227,400
Land Value: \$354,142
Other Value: \$6,500
Total Value: \$588,042

Assessment data from FY 2023

Lot Size: 19.16 Acres
Last Sale Price: \$3,500
Last Sale Date: 19580305
Use Code: 017

[Zoom to](#)

100 200ft

