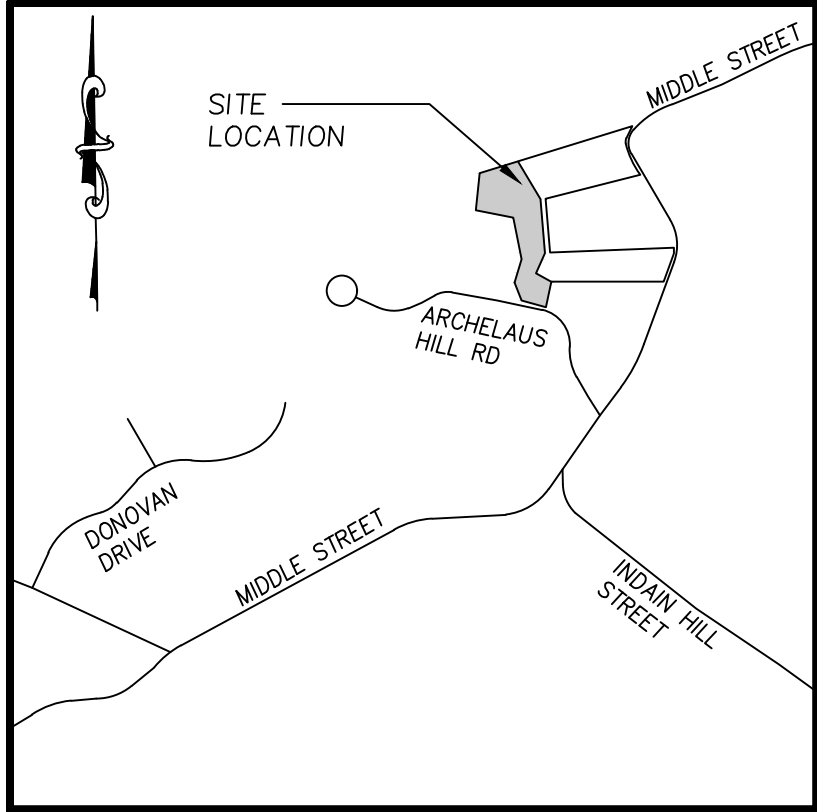




LOCUS MAP
SCALE: 1"=1200'

OWNER OF RECORD
GORMAN HOMES, LLC.

DEED REFERENCE
ESSEX COUNTY REGISTRY OF DEEDS
BOOK 36226 PAGE 543

PLAN REFERENCE
ESSEX COUNTY REGISTRY OF DEEDS
PLAN BOOK 461 PLAN 95
#299 BOOK 40632 PAGE 548 01/04/2022

ZONING TABLE

O MIDDLE STREET - ASSESSORS MAP R22, LOT 2
ZONING DISTRICT RES. B

REQUIRED	
LOT AREA:	40,000 S.F.
LOT FRONTAGE:	200 FT.
C.B.A. :	75% MIN.
FRONT SETBACK:	40 FT.
SIDE SETBACK:	20 FT.
REAR SETBACK:	20 FT.
LOT COVERAGE:	30% MAX.
BLDG. COVERAGE:	25% MAX.
LOT WIDTH:	180 FT.
BUILDING HEIGHT:	35 FT.

ZONING TABLE FOR
REDUCED FRONTAGE LOTS

O MIDDLE STREET - ASSESSORS MAP R22, LOT 2
ZONING DISTRICT RES. B

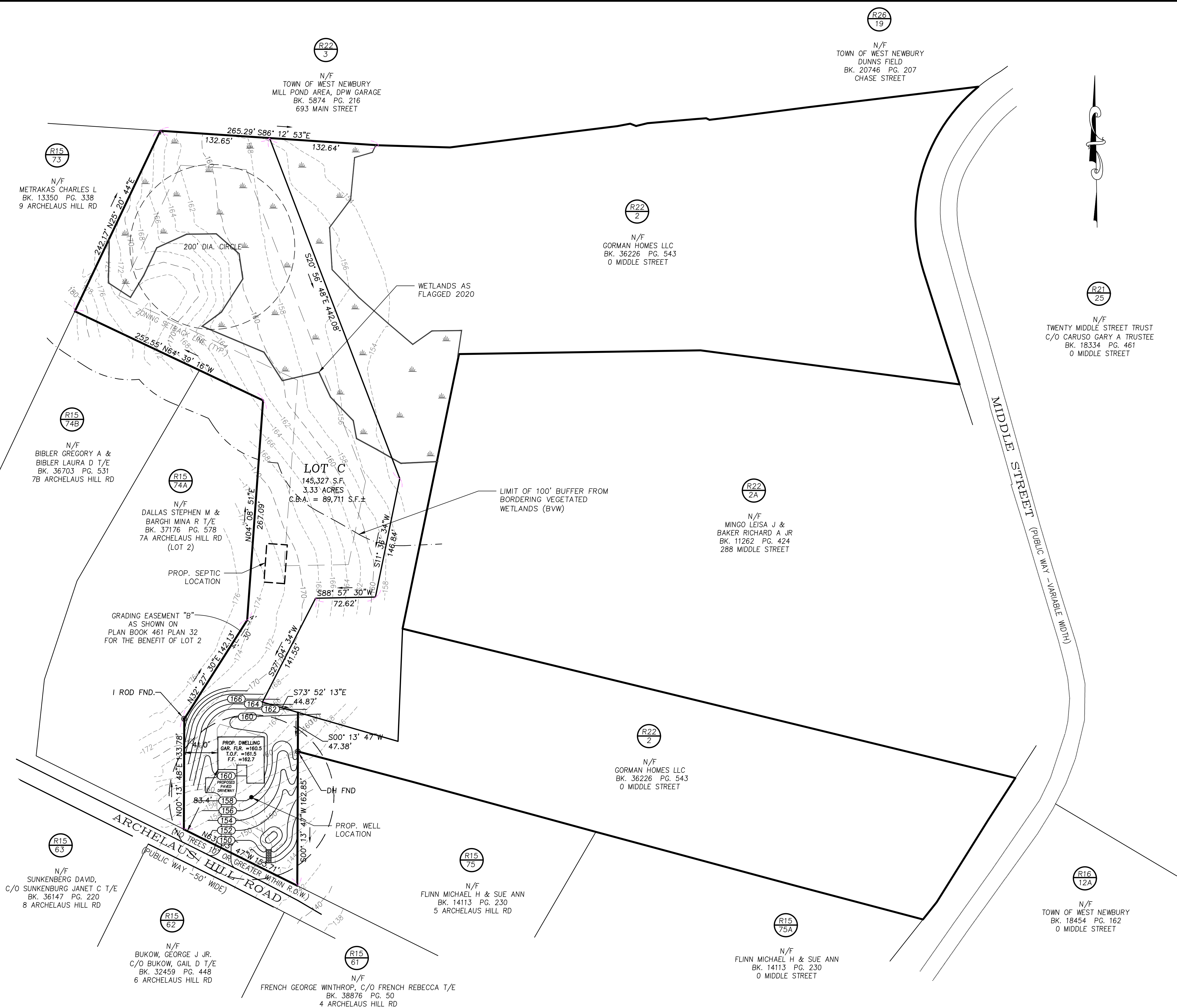
REQUIRED	PROPOSED
LOT AREA:	80,000 S.F.
LOT FRONTAGE:	100 FT.
C.B.A. :	75% MIN.
FRONT SETBACK:	40 FT.
SIDE SETBACK:	40 FT.
REAR SETBACK:	40 FT.
LOT COVERAGE:	30% MAX.
BLDG. COVERAGE:	25% MAX.
LOT WIDTH:	90 FT.
BUILDING HEIGHT:	35 FT.

WETLAND DELINEATED BY:
WEST ENVIRONMENTAL, INC.
48 STEVENS HILL ROAD
NOTTINGHAM, NH. 03290
(603) 734-4298
(DELINEATED ON: MARCH 30, 2020)

LEGEND

- 10" CALIPER OR LARGER TREES WITHIN R.O.W.
- D.H. DRILL HOLE
- I ROD IRON ROD
- FND. FOUND
- N/F NOW OR FORMERLY

ASSESSORS MAP#
PARCEL#



FOR REGISTRY USE

APPROVED BY THE WEST NEWBURY PLANNING BOARD

DATE

NOTES:
THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.

THE CERTIFICATIONS SHOWN HEREON ARE NOT INTENDED AS CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN OF WEST NEWBURY ASSESSORS RECORDS.

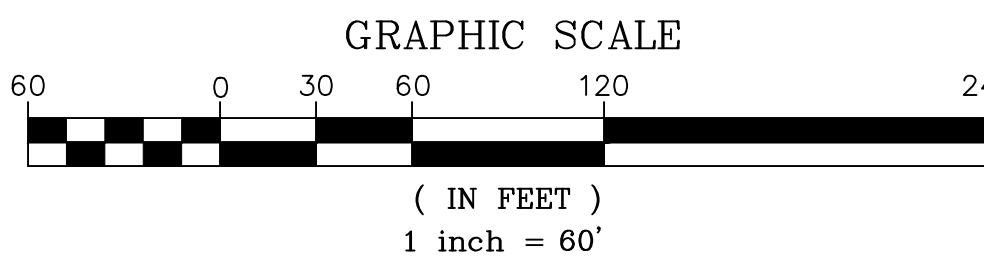
THE PARCEL SHOWN IS NOT LOCATED IN A FLOOD HAZARD AREA AS DEPICTED ON FEMA PANELS #25009C0112F & #25009C0116F, EFFECTIVE DATE 07-03-2012.

A REDUCED FRONTAGE LOT CREATED BY SPECIAL PERMIT SHALL NOT BE FURTHER SUBDIVIDED, REDUCED IN AREA, AND/OR CHANGED IN SIZE OR SHAPE. THE PLANNING BOARD SHALL REQUIRE A RECORDED DEED RESTRICTION SETTING FORTH THIS RESTRICTION IN PERPETUITY.

I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND BETWEEN AUGUST 12, 2019 AND SEPTEMBER 3, 2021.

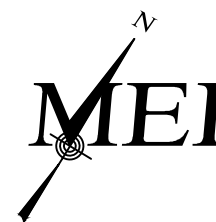
THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

PROFESSIONAL LAND SURVEYOR DATE



PREPARED FOR

GORMAN HOMES, LLC
P.O. BOX 130
NEWBURYPORT, MA 01950



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=60'
DATE: FEB. 22, 2022
CALC. BY: S.R.C.
CHKD. BY: J.S.H.
PROJECT: M193511

SPECIAL PERMIT PLAN
FOR
REDUCED FRONTAGE LOT
AT
O MIDDLE STREET WEST NEWBURY, MA
(MAP R22, LOT 2)

LOT C
GRADING
PLAN

SHEET: 1 OF 1