



#327
6/16/2021
39986-378

(15 Plans)

FOR REGISTRY USE ONLY

I CERTIFY THAT I HAVE CONFORMED
WITH THE RULES AND REGULATIONS
OF THE REGISTERS OF DEEDS IN
PREPARING THIS PLAN.

William & Sparages LLC
WILLIAMS & SPARAGES LLC

WEST NEWBURY PLANNING BOARD

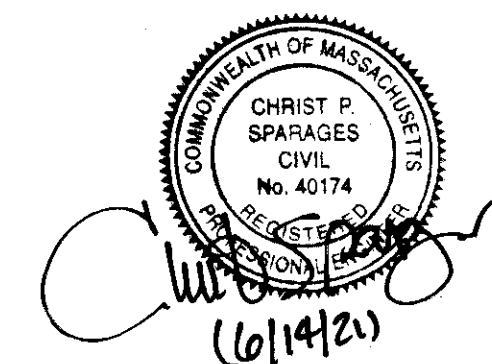
Barbara
John
Timothy
John
BR Murphy

DATE: 06/15/2021

PLANNING BOARD ENDORSEMENT DOES
NOT REFLECT ZONING COMPLIANCE.

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BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED
IN THIS OFFICE

William P. Prasse DATE: 6/14/2021
WEST NEWBURY TOWN CLERK



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NO.	REVISION	DATE

DEFINITIVE SUBDIVISION PLAN MAJOR BOYD DRIVE WEST NEWBURY, MA

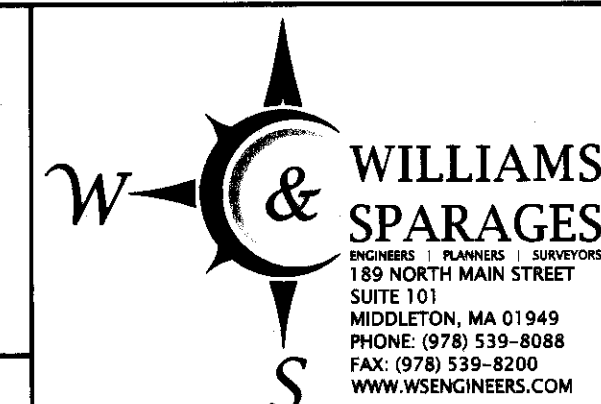
OWNER/APPLICANT:
DEER RUN LAND DEVELOPMENT LLC
6 MECHANIC STREET
KENNEBUNK, ME 04043
DEED BOOK 37836 PAGE 411
DEED BOOK 37877 PAGE 554

ASSESSOR'S REFERENCE:
ASSESSOR'S MAP R14
LOTS 360 & 540

0' 100' 200' 400'

SCALE: 1"=200'

JUNE 30, 2020



COVER SHEET 1 OF 1

SHEET 1 OF 15

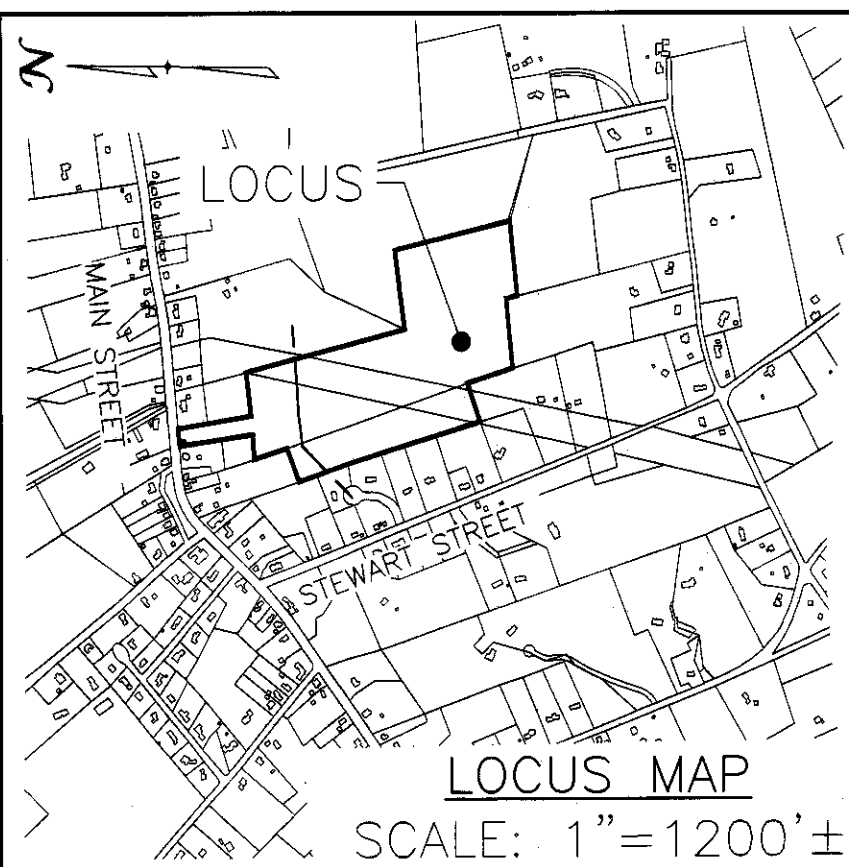
DEER RUN PLACE DEFINITIVE SUBDIVISION PLAN MAJOR BOYD DRIVE WEST NEWBURY, MA

PLAN NOTES:

- ELEVATIONS BASED ON NAVD88 DERIVED FROM GPS OBSERVATIONS 7-11-2019.
- WETLAND RESOURCE AREA DELINEATION BY WILLIAMS & SPARAGES LLC IN JULY AND NOVEMBER 2019.
- EXISTING SEPTIC SYSTEM LOCATIONS ARE APPROXIMATE ONLY.
- ABUTTER INFORMATION TAKEN FROM THE TOWN OF WEST NEWBURY'S GIS WEBSITE.
- ALL EXISTING AND PROPOSED TRAILS SHALL BE OPEN TO THE PUBLIC SUBJECT TO A NON-MOTORIZED TRAIL EASEMENT TO BE GRANTED TO ESSEX COUNTY TRAIL ASSOCIATION, INC.
- SEE FORM I, APPROVAL WITH COVENANT CONTRACT, RECORDED HEREWITH.

PLAN REFERENCES:

- 1909 ESSEX COUNTY LAYOUT OF MAIN STREET.
- MASSDOT HIGHWAY LAYOUT #1246 (MAIN STREET, ROUTE 113)
- PLAN BOOK 105 PLAN 18.
- PLAN BOOK 152 PLAN 64.
- PLAN BOOK 162 PL 51.
- PLAN BOOK 194 PLAN 37.
- PLAN BOOK 202 PLAN 23.
- PLAN BOOK 252 PLAN 12.
- PLAN 587 OF 1958.
- PLAN 123 OF 1963.
- PLAN 254 OF 1971.
- PLAN 82 OF 1973.
- PLAN 624 OF 1973.

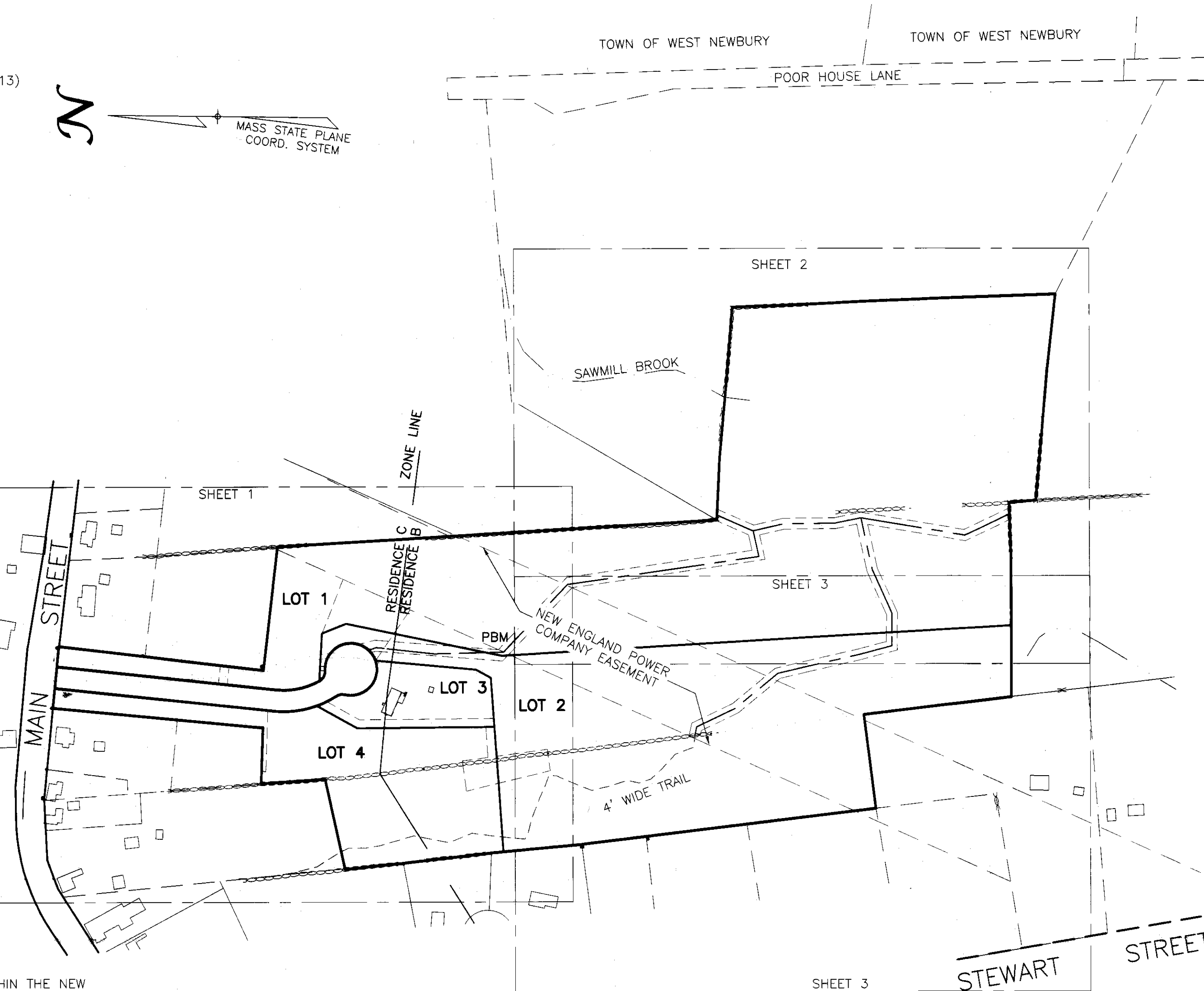


LEGEND

CB	CATCH BASIN
CI	CAST IRON
CBE	CENTER BACK EDGE
CP	CENTER POINT
DH	DRILL HOLE
DMH	DRAIN MANHOLE
DYL	DOUBLE YELLOW LINE
ECOSB	ESSEX COUNTY STONE BOUND
EP	EDGE OF PAVEMENT
FES	FLARED END SECTION
F.F.	FIRST FLOOR
G.F.	GARAGE FLOOR
GBDH	GRANITE BOUND WITH DRILL HOLE
IP	IRON PIPE
LC	LAND COURT
MB	MAIL BOX
MH	MANHOLE
N/F	NOW OR FORMERLY
OHW	OVERHEAD WIRE
PC	POINT OF CURVATURE
PROP	PROPOSED
PT	POINT OF TANGENCY
RF	RIVER FLAG
SB	STONE BOUND
SMH	SEWER MANHOLE
S.F.	SQUARE FOOT
SWL	SINGLE WHITE LINE
T.O.F.	TOP OF FOUNDATION
T.O.W.	TOP OF WALL
TP	TEST PIT
TBM	TEMPORARY BENCH MARK
UP	UTILITY POLE
VGC	VERTICAL GRANITE CURB
WF	WETLAND FLAG
29324/117	DEED BOOK/PAGE NUMBER
123.5	DRAINAGE FLOW
1	PROPOSED SPOT GRADE
1	PROPOSED LOT NUMBER
△	STREET ADDRESS
R14-	ASSESSORS MAP - LOT

LIST OF WAIVER REQUESTS:

- SECTION 4.2.4.9 REQUIRES THE MINIMUM FRONTAGE ON THE EXISTING STREET OF THE PARCEL TO BE SUBDIVIDED BE AT LEAST THE FRONTAGE REQUIRED FOR THE ZONING DISTRICT IN ORDER TO PROVIDE FOR THE RIGHT-OF-WAY AND BUFFERS TO ADJUTING PROPERTIES. WAIVER IS REQUESTED TO REDUCE THE FRONTAGE REQUIREMENT OF 150-FEET TO THE EXISTING FRONTAGE OF 142.52 FEET.
- SECTION 4.2.4.11 REQUIRES THE CENTERLINE OF THE ROAD SHALL BE LOCATED FROM THE SIDELINES OF THE EXISTING ABUTTER LOTS A DISTANCE OF AT LEAST ON HALF THE FRONTAGE REQUIRED FROM THE ZONING DISTRICT. WAIVER IS REQUESTED TO REDUCE THIS DISTANCE FROM 75' TO 71.26' AS SHOWN.
- SECTION 4.4.11 REQUIRES THE NEAREST EDGE OF THE TOP OF THE EMBANKMENT OF THE TOP OF THE EMBANKMENT OF THE STORMWATER BASINS SHALL BE LOCATED A MINIMUM OF 25- FEET FROM ANY ROADWAY AND PROPERTY LINES, AND SHALL BE SCREENED FROM ADJACENT LOTS AND STREETS BY A GREENBELT OF APPROPRIATE PLANTINGS. WAIVER IS REQUESTED TO BE APPROVED AS SHOWN.
- SECTION 5.2.3 REQUIRES THAT THE PAVEMENT IN THE ROADWAY TO BE CONSTRUCTED IN THREE (3) COURSES BEING A 2-1/2" BINDER COURSE, A 2" BINDER COURSE AND 1-1/2" TOP COURSE. WAIVER IS REQUESTED ROADWAY TO BE CONSTRUCTED IN TWO (2) COURSES BEING A 2-1/2" BINDER COURSE AND A 1-1/2" TOP COURSE.
- SECTION 3.2.3.7 REQUIRES MAJOR FEATURES OF LAND SUCH AS EXISTING WALLS, FENCES, TRAILS, MONUMENTS, BUILDINGS, LARGE TREES, WOODED AREAS, OUTCROPPINGS, DITCHES, SWAMPS, WATER BODIES AND NATURAL WATERWAYS. WAIVER IS BEING REQUESTED TO NOT BE REQUIRED TO SHOW LARGE TREES ON THE PLANS.



SITE SKETCH

SCALE: 1" = 200'

0' 100' 200' 400'

PROJECT BENCH MARK (PBM):

A STAKE AND NAIL LOCATED ON LOT 1 WITHIN THE NEW
ENGLAND POWER COMPANY EASEMENT. ELEVATION = 106.85
BASED ON NAVD88 DERIVED FROM GPS OBSERVATIONS
7-11-2019.

ZONING TABLE

REQUIREMENT	RESIDENCE B	RESIDENCE C	LOT 1	LOT 2	LOT 3	LOT 4
Minimum Lot Area	40,000 SF	20,000 SF	844,686± S.F.	449,874± S.F.	45,964± S.F.	166,100± S.F.
Minimum Lot Frontage	200 Feet	150 Feet	611.44'	200.33'	200'	608.47'
Front Yard Setback	40 Feet	40 Feet	44.8'	312.9'	43.6'	46.0'
Side Yard Setback	20 Feet	20 Feet	21.2'	40'	27.6'	38.4'
Rear yard Setback	20 Feet	20 Feet	187.4'	299.4'	199.9'	66.8'
Minimum CBA Per Lot	75%	75%	1700%	2500%	115%	547%
Maximum Lot Coverage	30%	35%	< 35%	< 30%	< 30%	< 30%
Maximum Building Coverage	25%	30%	< 30%	< 25%	Existing house - 3%	< 25%
Maximum Building Height	35 Feet	35 Feet	< 35'	< 35'	< 35'	< 35'
Minimum Lot Circle for RFL	200 Feet Diameter	N/A	N/A	200'	N/A	N/A
Lot Shape and Width	90% of Frontage at Front Setback (180')	90% of Frontage at Front Setback (135')	657.90'	214.59'	211.08'	659.34'

*TOTAL PARCEL AREA = 1,550,343± S.F. (35.59± ACRES)

PLAN SET INDEX

- SHEET 1: COVER SHEET
SHEET 2: EXISTING CONDITIONS PLAN SHEET 1
SHEET 3: EXISTING CONDITIONS PLAN SHEET 2
SHEET 4: EXISTING CONDITIONS PLAN SHEET 3
SHEET 5: LOTTING PLAN SHEET 1
SHEET 6: LOTTING PLAN SHEET 2
SHEET 7: GRADING, DRAINAGE & UTILITY PLAN SHEET 1
SHEET 8: GRADING, DRAINAGE & UTILITY PLAN SHEET 2
SHEET 9: GRADING, DRAINAGE & UTILITY PLAN SHEET 3
SHEET 10: STREET PLAN & PROFILE SHEET 1 OF 1
SHEET 11: DETAIL SHEET 1
SHEET 12: DETAIL SHEET 2
SHEET 13: DETAIL SHEET 3
SHEET 14: WATERSHED MAP - EXISTING CONDITIONS
SHEET 15: WATERSHED MAP - PROPOSED CONDITIONS

S0.ESEX #327 Bk:39986 Pg:378
06/16/2021 12:12 PLAN Pg 2/15

#327
6/16/2021
39986-378

(15 plans)

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I CERTIFY THAT I HAVE CONFORMED
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PREPARING THIS PLAN.

Philip J. Williams P.L.S.
WILLIAMS & SPARGES LLC

I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT
OF AN ACTUAL ON-THE-GROUND INSTRUMENT
SURVEY PERFORMED BY WILLIAMS & SPARGES LLC.




PHILLIP A. WETMAN, P.L.S.
MASSACHUSETTS PROFESSIONAL LAND
SURVEYOR LICENSE #51910

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE

Neil P. Chase DATE: 6-24-2021
WEST NEWBURY TOWN CLERK

6/14/2021
DATE

MASS STATE PLANE

PARCEL AREA = 35.59± ACRES

FLOOD CERTIFICATION:

BY EXAMINATION MAP OF THE CURRENTLY APPLICABLE
FEMA FLOOD MAP A PORTION OF THIS PROPERTY
IS LOCATED WITHIN A ZONE X (AREAS OF 0.2%
ANNUAL CHANCE; AREAS OF 1% CHANCE FLOOD
WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR
WITHIN DRAINAGE AREAS LESS THAN 1 SQUARE
MILE) AS SHOWN ON THE FLOOD INSURANCE RATE
MAP COMMUNITY PANEL NO. 25009C011F, WITH AN
EFFECTIVE DATE OF JULY 3, 2012.

PLAN NOTES:

1. ELEVATIONS BASED ON NAVD88 DERIVED FROM GPS OBSERVATIONS 7-11-2019.
2. WETLAND RESOURCE AREA DELINEATION BY WILLIAMS & SPARGES LLC IN JULY AND NOVEMBER 2019.
3. ABUTTER INFORMATION TAKEN FROM THE TOWN OF WEST NEWBURY'S GIS WEBSITE.
4. EXISTING SEPTIC SYSTEM AREA SHOWN IS APPROXIMATE.
5. ALL EXISTING AND PROPOSED TRAILS SHALL BE OPEN TO THE PUBLIC SUBJECT TO A NON-MOTORIZED TRAIL EASEMENT TO BE GRANTED TO ESSEX COUNTY TRAIL ASSOCIATION, INC.

ZONING TABLE			
REQUIREMENT	RESIDENCE B	RESIDENCE C	
Minimum Lot Area	40,000 SF (RFL=80,000 SF)	20,000 SF	
Minimum Lot Frontage	200 Feet (RFL=100 Feet)	150 Feet	
Front Yard Setback	40 Feet (RFL=40 Feet)	40 Feet	
Side Yard Setback	20 Feet (RFL=40 Feet)	20 Feet	
Rear yard Setback	20 Feet (RFL=40 Feet)	20 Feet	
CBA Per Lot	75%	75%	
Maximum Lot Coverage	30%	35%	
Maximum Building Coverage	25%	30%	
Maximum Building Height	35 Feet	35 Feet	
Minimum Lot Circle for RFL	200 Feet Diameter	N/A	
Lot Shape and Width	90% of Frontage at Front Setback	90% of Frontage at Front Setback	

*RFL = REDUCED FRONTAGE LOT

WEST NEWBURY PLANNING BOARD

Am. Garden
J. C.
Timothy H.
James A. Cook
B. R. Murphree

DATE: 06/15/2021

PLANNING BOARD ENDORSEMENT DOES
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DEFINITIVE SUBDIVISION PLAN

MAJOR BOYD DRIVE

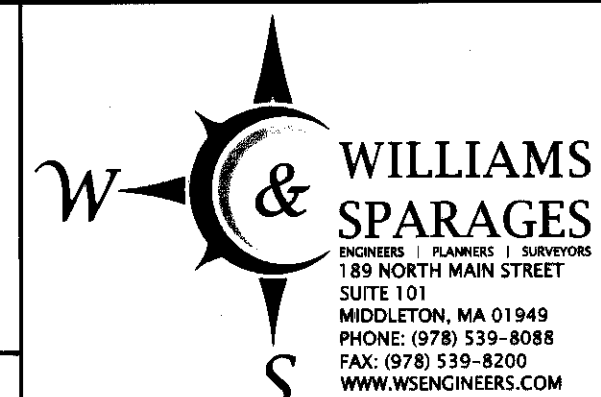
WEST NEWBURY, MA

OWNER/APPLICANT:
DEER RUN LAND DEVELOPMENT LLC
6 MECHANIC STREET
KENNEBUNK, ME 04043
DEED BOOK 37836 PAGE 411
DEED BOOK 37877 PAGE 554

ASSESSOR'S REFERENCE:
ASSESSOR'S MAP R14
LOTS 36 & 54

SCALE: 1"=40'

JUNE 30, 2020



EXISTING CONDITIONS 1 OF 3

SHEET 2 OF 15

#327
6/16/2021

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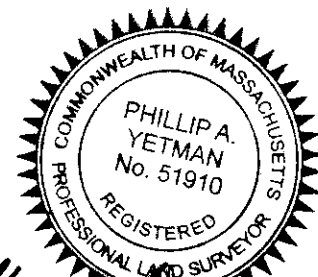
(15 Plans)

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Phillip A. Yetman
WILLIAMS & SPARAGES LLC

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Phillip A. Yetman
PHILLIP A. YETMAN, P.L.S.
MASSACHUSETTS PROFESSIONAL LAND
SURVEYOR LICENSE #51910

6/14/2021
DATE

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SAWMILL BROOK

RF #MA-113 RF #MA-111 RF #MA-109 RF #MA-108 RF #MA-106 RF #MA-105 RF #MA-104 RF #MA-103 RF #MA-101
RF #MA-112 RF #MA-110 RF #MA-107 RF #MA-102 RF #MA-100
EDGE MAHW

PARCEL AREA = 35.59± ACRES

N/F
BRUCE & RENEE HAMILTON
551 MAIN STREET
MAP R14 LOT 30D
6658/380

WF #D-1 WF #B-33
WF #D-2 WF #B-32
WF #D-34 WF #B-31
WF #D-4 WF #B-30
WF #D-5 WF #B-29
WF #D-6
WF #D-7
WF #D-8
WF #D-9
WF #D-10
WF #D-11
WF #D-12
WF #D-13

WF #B-26
WF #B-27
WF #B-28
WF #B-29
WF #B-30
WF #B-31
WF #B-32
WF #B-33

LIMIT 200'
RIVER FRONT AREA

EDGE BVW

WF #B-19
WF #B-18
WF #B-17
WF #B-16
WF #B-15
WF #B-14
WF #B-13
WF #B-12
WF #B-11
WF #B-10
WF #B-9

RF #MA-28
RF #MA-27
RF #MA-26
RF #MA-25
RF #MA-24
RF #MA-23
RF #MA-22
RF #MA-21
RF #MA-20
RF #MA-19
RF #MA-18
RF #MA-17
RF #MA-16

DRILL
HOLE
(FOUND-HELD)

WEST NEWBURY PLANNING BOARD

Ann Barlow
John C. Cole
Bar R. Murphy

DATE: 6/15/2021

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David P. Munson
WEST NEWBURY TOWN CLERK

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DEFINITIVE SUBDIVISION PLAN
MAJOR BOYD DRIVE
WEST NEWBURY, MA

OWNER/APPLICANT:
DEER RUN LAND DEVELOPMENT LLC
66 MECHANIC STREET
KENNEBUNK, ME 04043
DEED BOOK 37836 PAGE 411
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ASSESSOR'S REFERENCE:
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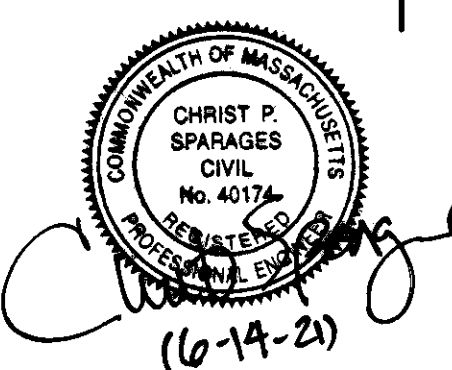
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JUNE 30, 2020



EXISTING CONDITIONS 2 OF 3

SHEET 3 OF 15



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PHILLIP A. YETMAN, P.L.S.
WILLIAMS & SPARGES LLC

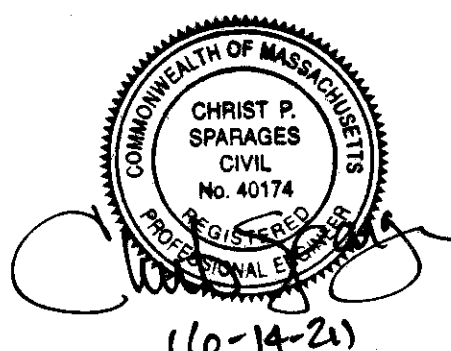
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WEST NEWBURY PLANNING BOARD

DATE: 06/16/2021

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(6-14-21)

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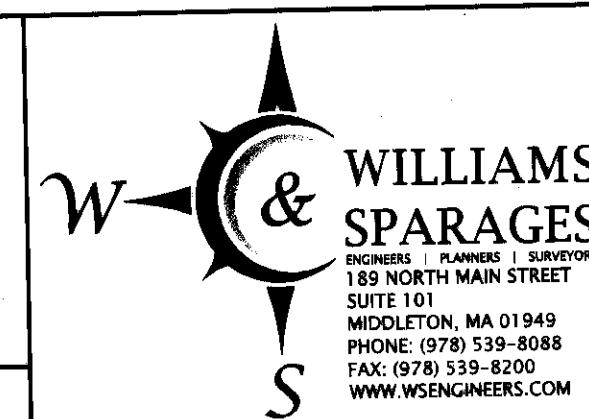
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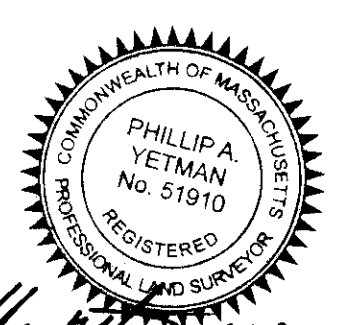
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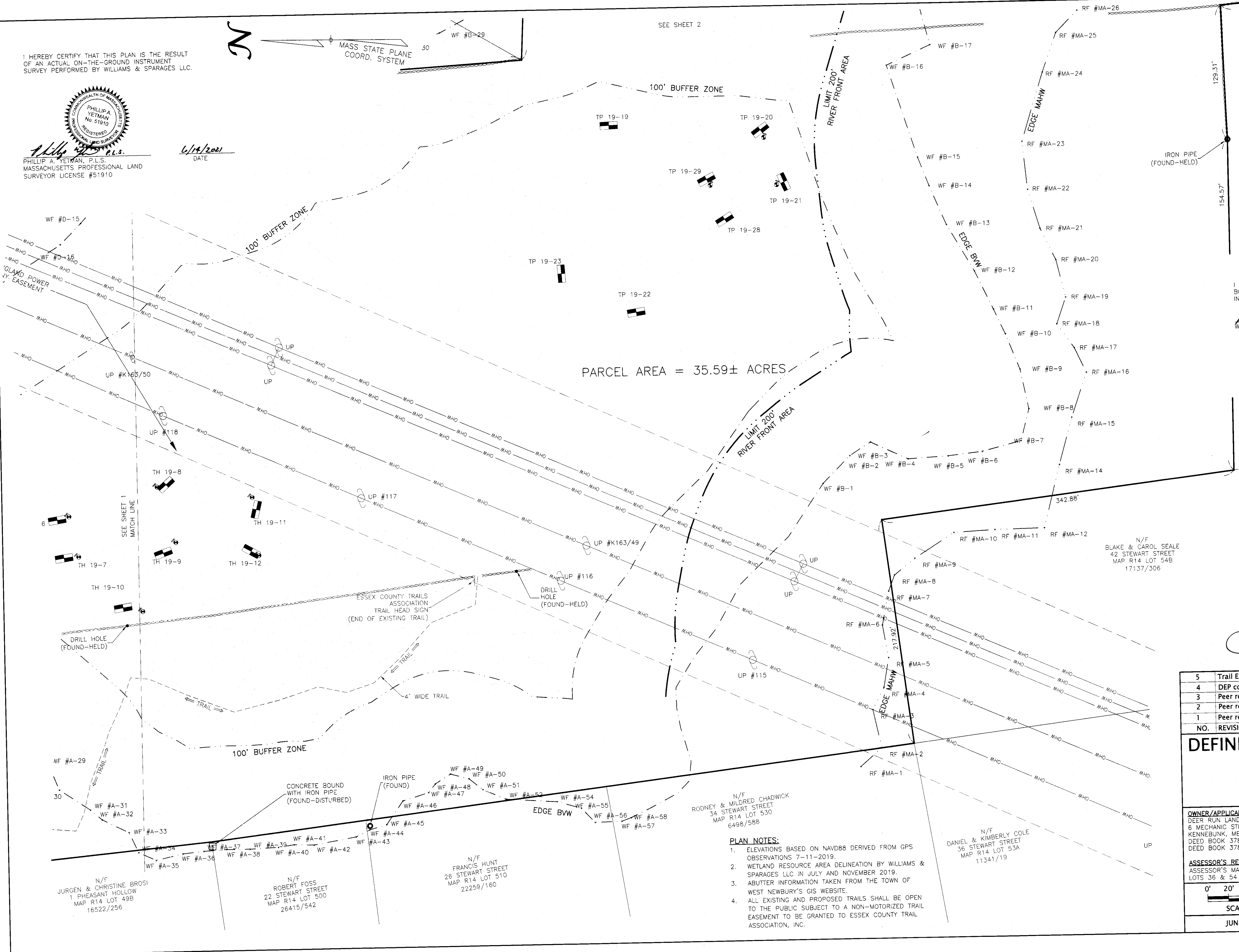
EXISTING CONDITIONS 3 OF 3
SHEET 4 OF 15

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PHILLIP A. YETMAN, P.L.S.
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR LICENSE #51910

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N/F
RODNEY & MILDRED CHADWICK
34 STEWART STREET
MAP R14 LOT 530
6498/588

N/F
DANIEL & KIMBERLY COLE
36 STEWART STREET
MAP R14 LOT 53A
11341/19

N/F
FRANCIS HUNT
26 STEWART STREET
MAP R14 LOT 510
22259/160

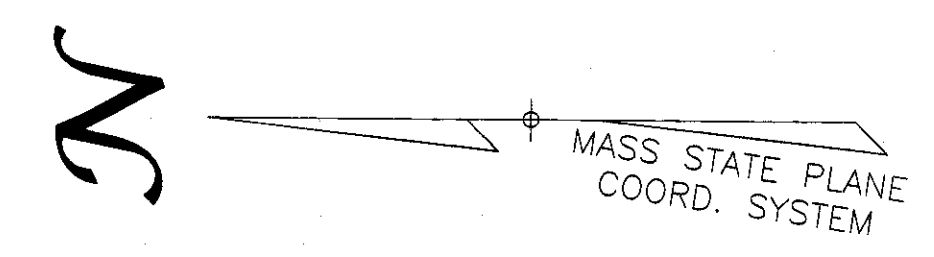
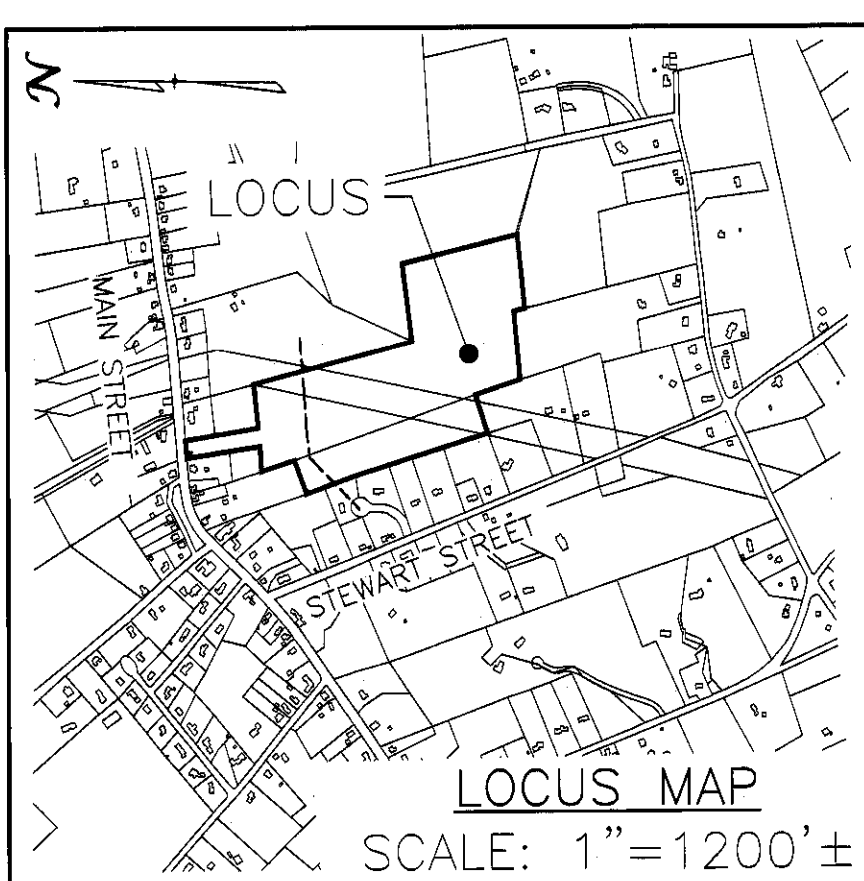
N/F
ROBERT FOSS
22 STEWART STREET
MAP R14 LOT 500
26415/542

N/F
JURGEN & CHRISTINE BROSI
1 PHEASANT HOLLOW
MAP R14 LOT 49B
16522/256

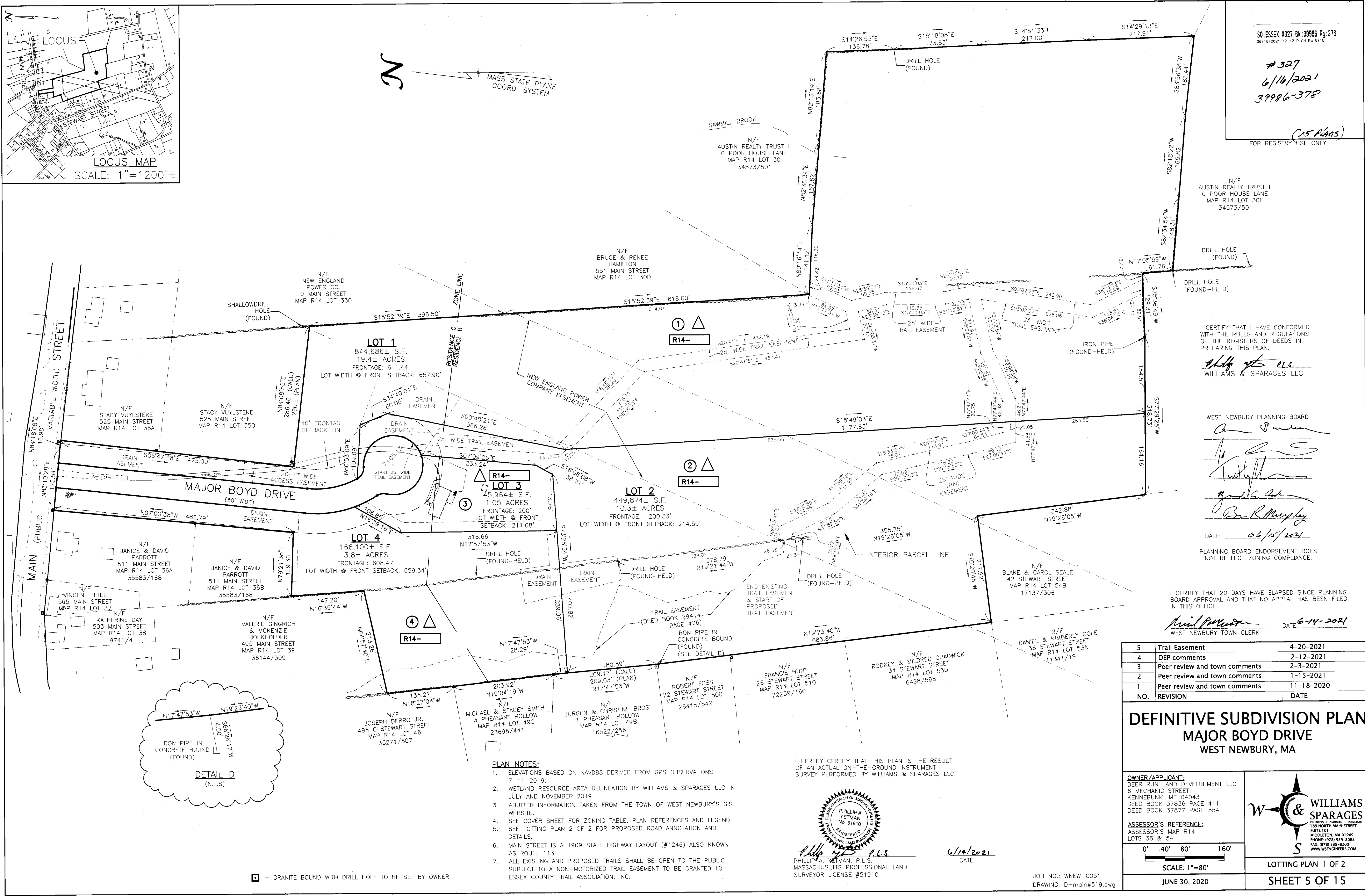
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06/16/2021 12:12 P.M. Pg 5/15

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MASS STATE PLANE
COORD. SYSTEM



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Phillip A. Yetman, P.L.S.
WILLIAMS & SPARAGES LLC

WEST NEWBURY PLANNING BOARD

Am. Darden
Anthony...
Grand G....
Ben R. Murphy

DATE: 6/15/2021

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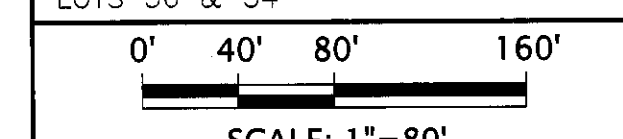
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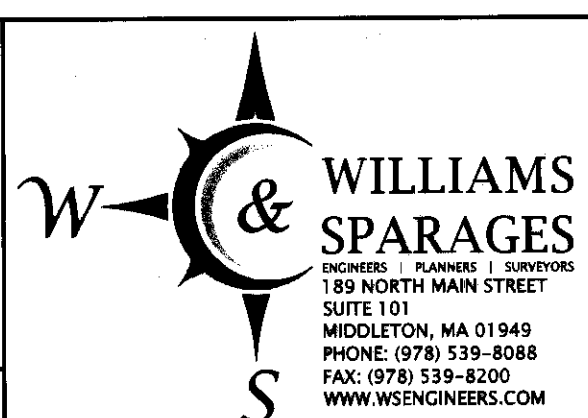
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189 NORTH MAIN STREET
MIDDLETON, MA 01949
PHONE: (978) 539-8088
FAX: (978) 539-8200
WWW.WSENGINEERS.COM

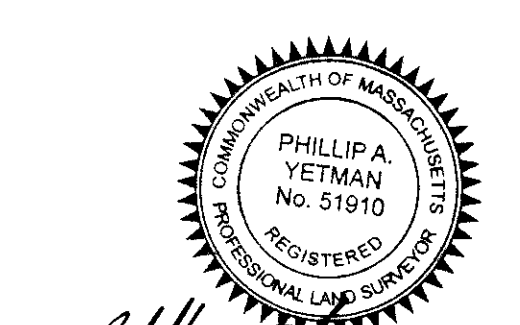
LOTING PLAN 1 OF 2

SHEET 5 OF 15

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- ELEVATIONS BASED ON NAVD88 DERIVED FROM GPS OBSERVATIONS 7-11-2019.
- WETLAND RESOURCE AREA DELINEATION BY WILLIAMS & SPARAGES LLC IN JULY AND NOVEMBER 2019.
- ABUTTER INFORMATION TAKEN FROM THE TOWN OF WEST NEWBURY'S GIS WEBSITE.
- SEE COVER SHEET FOR ZONING TABLE, PLAN REFERENCES AND LEGEND.
- SEE LOTTING PLAN 2 OF 2 FOR PROPOSED ROAD ANNOTATION AND DETAILS.
- MAIN STREET IS A 1909 STATE HIGHWAY LAYOUT (#1246) ALSO KNOWN AS ROUTE 113.
- ALL EXISTING AND PROPOSED TRAILS SHALL BE OPEN TO THE PUBLIC SUBJECT TO A NON-MOTORIZED TRAIL EASEMENT TO BE GRANTED TO ESSEX COUNTY TRAIL ASSOCIATION, INC.

I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT
OF AN ACTUAL ON-THE-GROUND INSTRUMENT
SURVEY PERFORMED BY WILLIAMS & SPARAGES LLC.

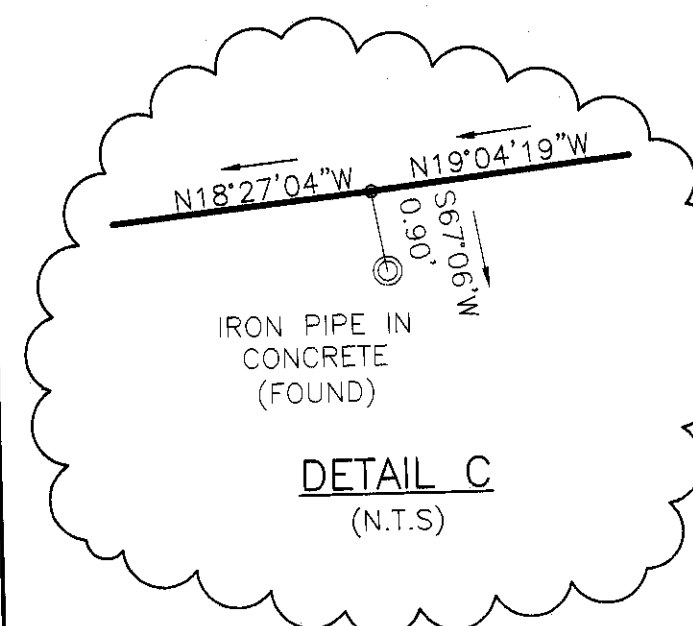
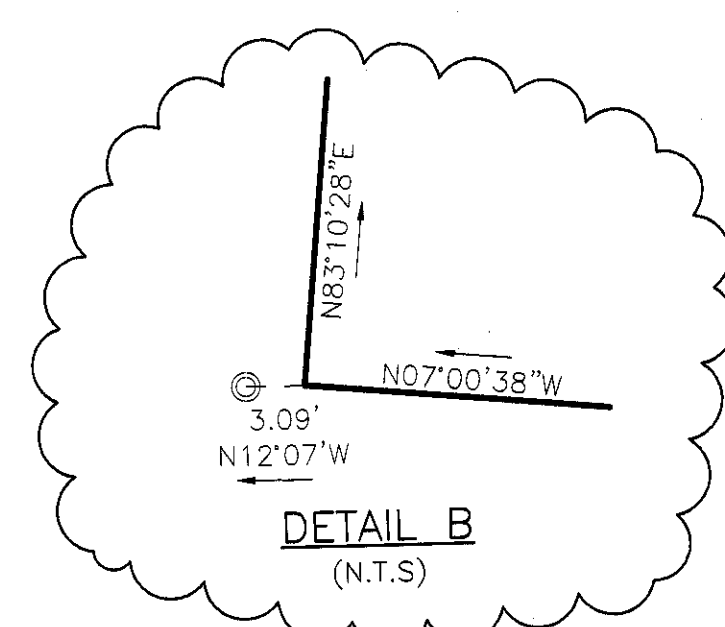


Phillip A. Yetman, P.L.S.
PHILLIP A. YETMAN, P.L.S.
MASSACHUSETTS PROFESSIONAL LAND
SURVEYOR LICENSE #51910

6/14/2021
DATE

□ - GRANITE BOUND WITH DRILL HOLE TO BE SET BY OWNER

JOB NO.: WNEW-0051
DRAWING: D-main#519.dwg



LOTING PLAN 2 OF 2

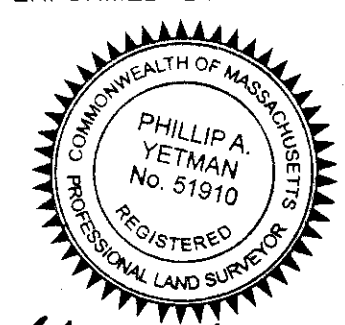
SHEET 6 OF 15

JOB NO.: WNEW-0051
DRAWING: D-main#519.dwg

PLAN NOTES:

- ELEVATIONS BASED ON NAVD88 DERIVED FROM GPS OBSERVATIONS 7-11-2019.
- WETLAND RESOURCE AREA DELINEATION BY WILLIAMS & SPARGES LLC IN JULY AND NOVEMBER 2019.
- THE PROPOSED SUBDIVISION WILL NOT BE SERVICED BY NATURAL GAS AS THERE IS NO NATURAL GAS SUPPLY IN WITHIN THE VICINITY ON MAIN STREET.
- THERE ARE NO PRE-CONSTRUCTION GRADES OF 25% OR GREATER WITHIN THE PROPOSED ROAD, STORMWATER MANAGEMENT SYSTEMS, DRIVEWAYS, PIPES OR OTHER INFRASTRUCTURE.
- STORMWATER MANAGEMENT SYSTEMS LOCATED OUTSIDE THE RIGHT OF WAY SHALL BE OWNED, MAINTAINED BY THE RESIDENTS OF THE SUBDIVISION, UNDER A HOMEOWNER'S ASSOCIATION ESTABLISHED IN A FORM SATISFACTORY TO THE WEST NEWBURY PLANNING BOARD AND SHALL PROVIDE THE TOWN OF WEST NEWBURY WITH APPROPRIATE EASEMENTS.
- ALL EXISTING AND PROPOSED TRAILS SHALL BE OPEN TO THE PUBLIC SUBJECT TO A NON-MOTORIZED TRAIL EASEMENT TO BE GRANTED TO ESSEX COUNTY TRAIL ASSOCIATION, INC.

I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARGES LLC.



PHILLIP A. YETMAN, P.L.S.
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR LICENSE #51910

6/14/2021
DATE

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

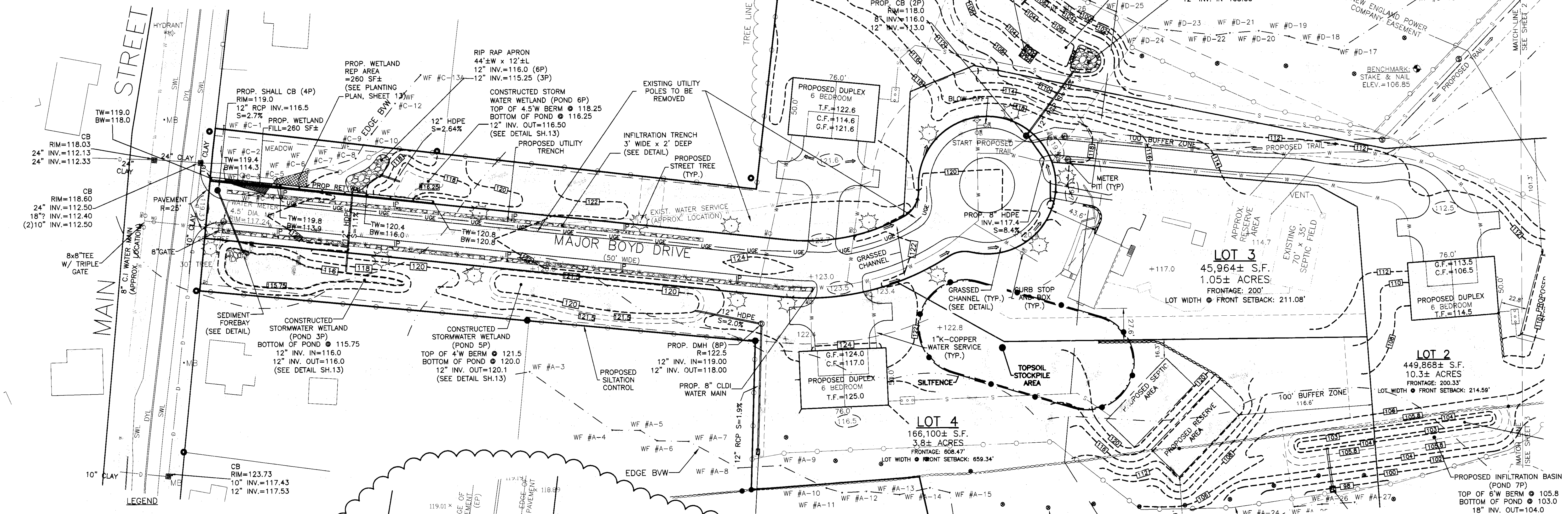
PHILLIP A. YETMAN, P.L.S.
WILLIAMS & SPARGES LLC

SD ESSEX #327 Bk: 39986 Pg: 378
06/16/2021 12:12 PLAN Pg 7/15

#327
6/16/2021
39986-378

(15 Plans)

FOR REGISTRY USE ONLY



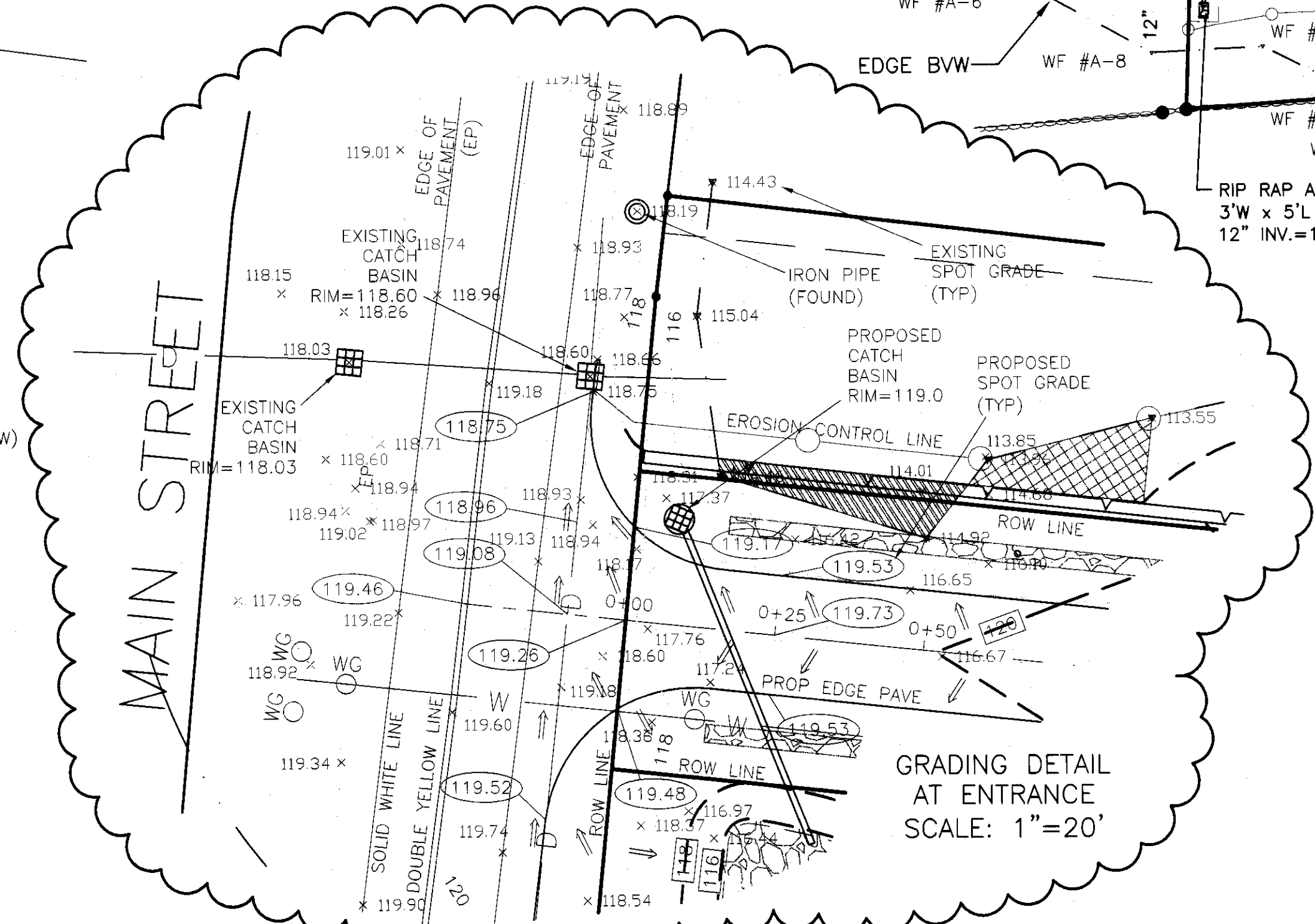
PROPOSED STREET TREE (MINIMUM 2" DIAMETER DECIDUOUS TO BE APPROVED BY THE TREE WARDEN)

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- UNDERGROUND ELECTRIC
- PROPOSED WATER LINE
- EXISTING EDGE OF BORDERING VEGETATED WETLAND (BVW)
- 100' BUFFER ZONE TO BVW
- EXISTING OVERHEAD WIRES

STOCKPILE NOTES:
THE TOPSOIL WILL BE REMOVED FROM THE AREAS OF CUTS AND FILLS AND PLACED WITHIN A RING OF SILTFENCE WHERE SHOWN ON LOTS 3 & 4

STOCKPILED TOPSOIL WILL BE SCREENED AND USED ON SITE TO THE MAXIMUM EXTENT PRACTICABLE AND NO TOPSOIL WILL LEAVE THE SITE EXCEPT IN ACCORDANCE WITH THE WEST NEWBURY SOIL REMOVAL BY-LAW.

SHOULD THE VOLUME CONTAINED WITHIN THE STOCKPILE AREA BE EXCEEDED THEN TOPSOIL MAY NEED TO BE REMOVED FROM THE SITE ONLY IN ACCORDANCE WITH THE WEST NEWBURY SOIL REMOVAL BY-LAW.



GRADING DETAIL
AT ENTRANCE
SCALE: 1"=20'

WEST NEWBURY PLANNING BOARD

[Signature]
[Signature]
[Signature]

DATE: 06/15/2021

PLANNING BOARD ENDORSEMENT DOES NOT REFLECT ZONING COMPLIANCE.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE

[Signature]
WEST NEWBURY TOWN CLERK

DATE: 6-14-21



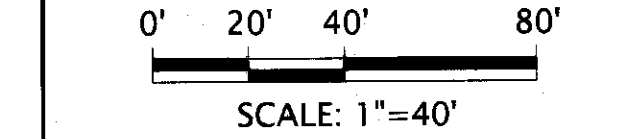
(6-14-21)

5	Trail Easement	4-20-2021
4	DEP comments	2-12-2021
3	Peer review and town comments	2-3-2021
2	Peer review and town comments	1-15-2021
1	Peer review and town comments	11-18-2020
NO.	REVISION	DATE

DEFINITIVE SUBDIVISION PLAN
MAJOR BOYD DRIVE
WEST NEWBURY, MA

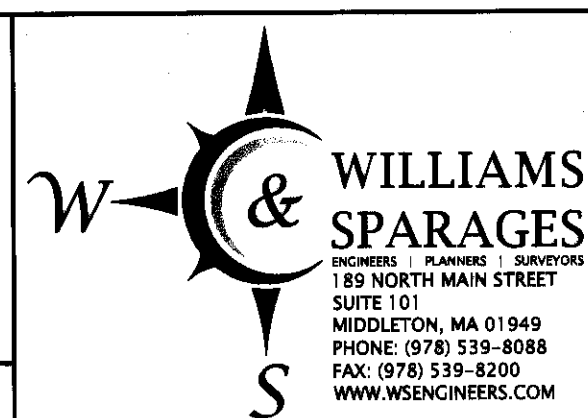
OWNER/APPLICANT:
DEER RUN LAND DEVELOPMENT LLC
6 MECHANIC STREET
KENNEBUNK, ME 04043
DEED BOOK 37836 PAGE 411
DEED BOOK 37877 PAGE 554

ASSESSOR'S REFERENCE:
ASSESSOR'S MAP R14
LOTS 36 & 54



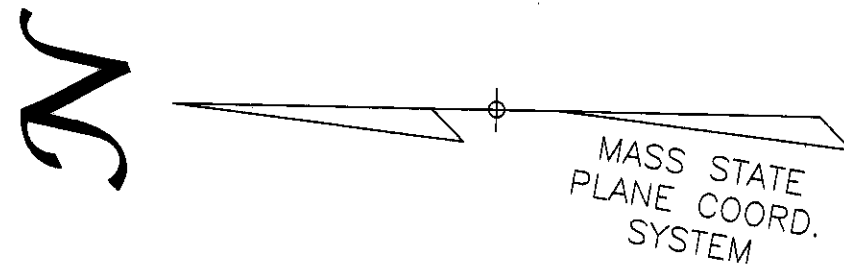
SCALE: 1"=40'

JUNE 30, 2020



GRADING, DRAINAGE & UTILITIES PLAN 1 OF 3

SHEET 7 OF 15



N/F
AUSTIN REALTY TRUST II
0 POOR HOUSE LANE
MAP R14 LOT 30
34573/501

SO. ESSEX #327 Bk. 39986 Pg. 378
06/16/2021 12:12 PLAN Pg. 8/15

#327
6/16/2021

39986-378

I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT
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SURVEY PERFORMED BY WILLIAMS & SPARGES LLC.



PHILLIP A. YETMAN, P.L.S.
MASSACHUSETTS PROFESSIONAL LAND
SURVEYOR LICENSE #51910

6/14/2021
DATE

WEST NEWBURY PLANNING BOARD

[Signatures of Planning Board members]

DATE: 06/14/2021

PLANNING BOARD ENDORSEMENT DOES
NOT REFLECT ZONING COMPLIANCE.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING
BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED
IN THIS OFFICE.

[Signature of West Newbury Town Clerk]
DATE: 6-14-2021
WEST NEWBURY TOWN CLERK

FOR REGISTRY USE ONLY

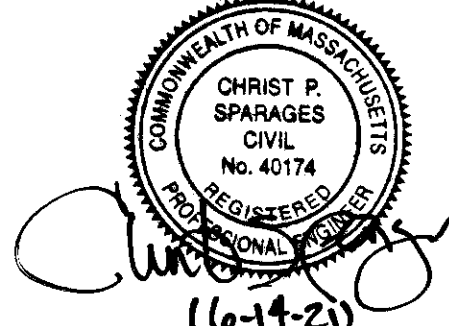
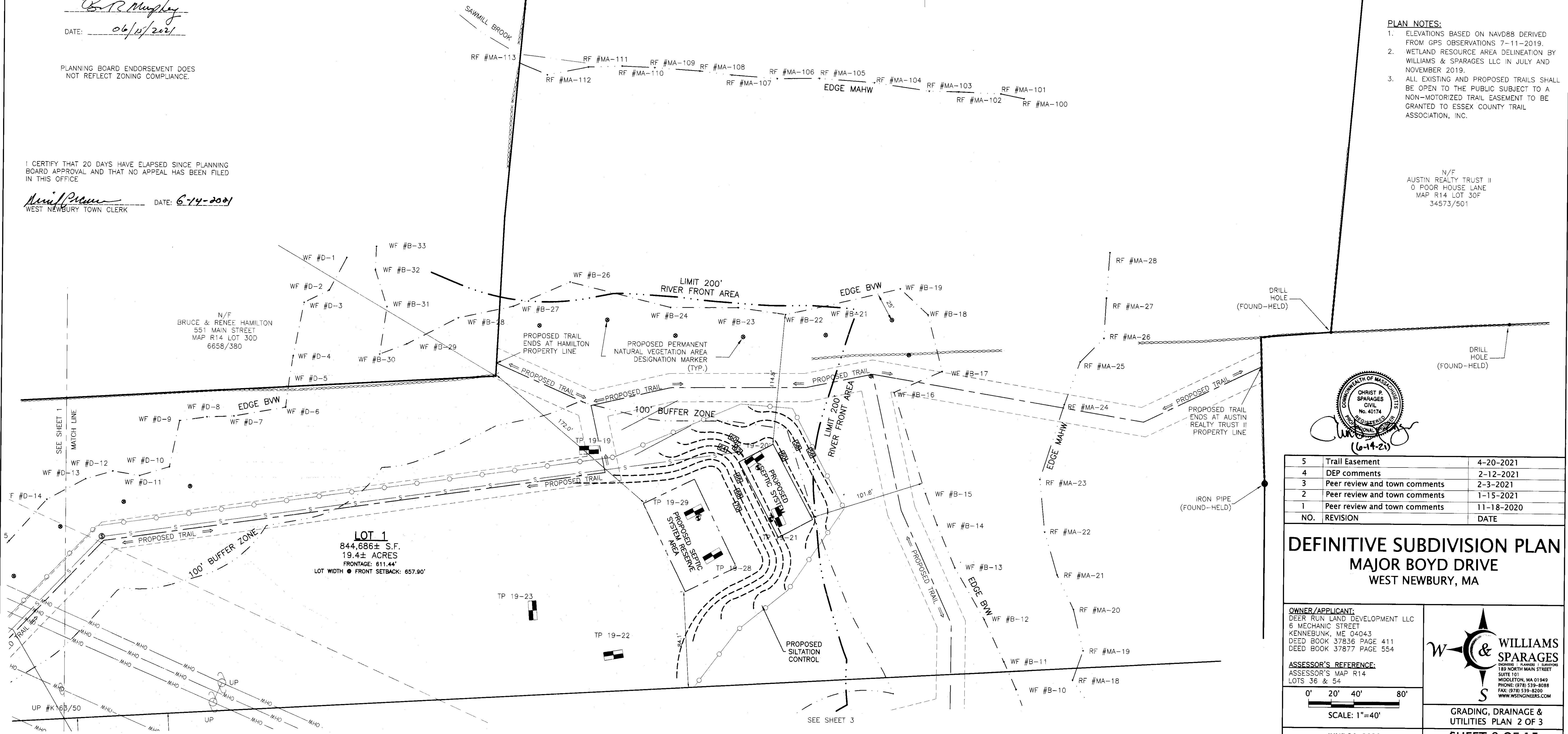
I CERTIFY THAT I HAVE CONFORMED
WITH THE RULES AND REGULATIONS
OF THE REGISTERS OF DEEDS IN
PREPARING THIS PLAN.

[Signature of Williams & Sparges LLC]
WILLIAMS & SPARGES LLC

PLAN NOTES:

1. ELEVATIONS BASED ON NAVD88 DERIVED
FROM GPS OBSERVATIONS 7-11-2019.
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NOVEMBER 2019.
3. ALL EXISTING AND PROPOSED TRAILS SHALL
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GRANTED TO ESSEX COUNTY TRAIL
ASSOCIATION, INC.

N/F
AUSTIN REALTY TRUST II
0 POOR HOUSE LANE
MAP R14 LOT 30F
34573/501



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1	Peer review and town comments	11-18-2020
NO.	REVISION	DATE

DEFINITIVE SUBDIVISION PLAN
MAJOR BOYD DRIVE
WEST NEWBURY, MA

OWNER/APPLICANT:
DEER RUN LAND DEVELOPMENT LLC
6 MECHANIC STREET
KENNEBUNK, ME 04043
DEED BOOK 37836 PAGE 411
DEED BOOK 37877 PAGE 554

ASSESSOR'S REFERENCE:
ASSESSOR'S MAP R14
LOTS 36 & 54

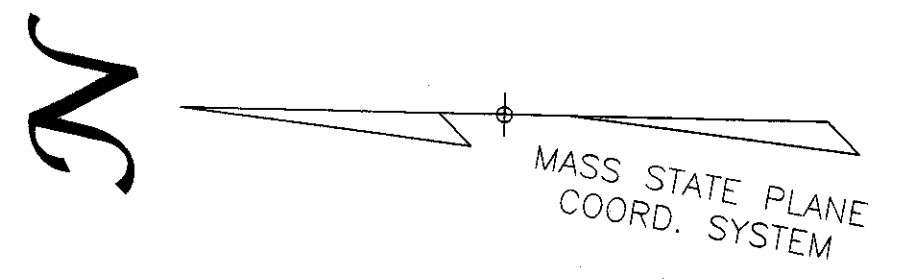
0' 20' 40' 80'

SCALE: 1"=40'

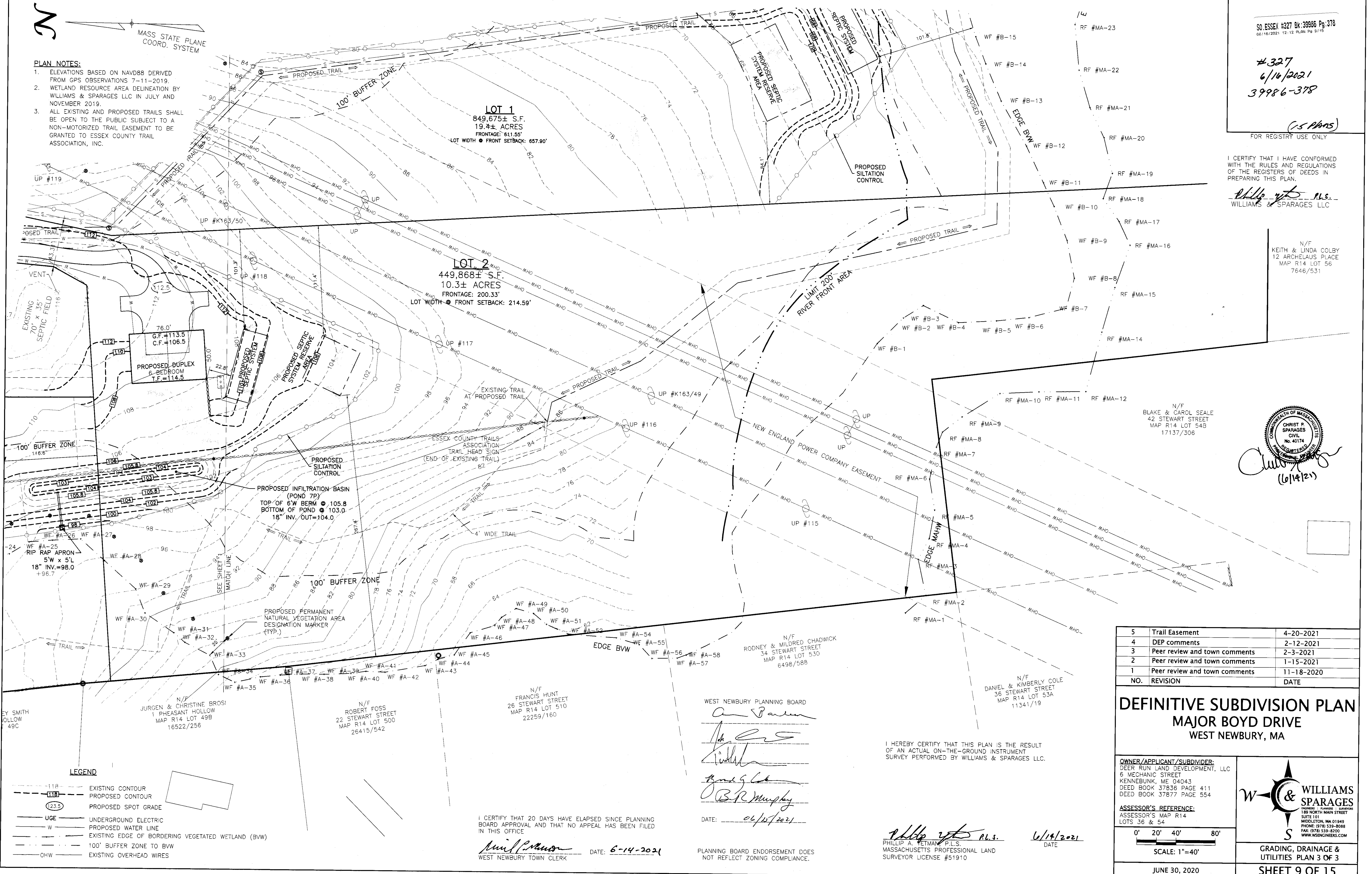
JUNE 30, 2020



GRADING, DRAINAGE &
UTILITIES PLAN 2 OF 3
SHEET 8 OF 15



- PLAN NOTES:**
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SD ESSEX #327 Bk: 39986 Pg: 378
06/16/2021 12:12 PLAN Pg: 9/15

#327
6/16/2021
39986-378

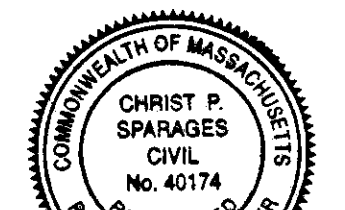
(5 Plans)
FOR REGISTRY USE ONLY

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

Phillip A. Tetman, P.L.S.
WILLIAMS & SPARAGES LLC

N/F
KEITH & LINDA COLBY
12 ARCHELAUS PLACE
MAP R14 LOT 56
7646/531

N/F
BLAKE & CAROL SEALE
42 STEWART STREET
MAP R14 LOT 54B
17137/306



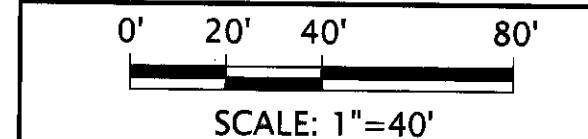
Club
(6/14/21)

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NO.	REVISION	DATE

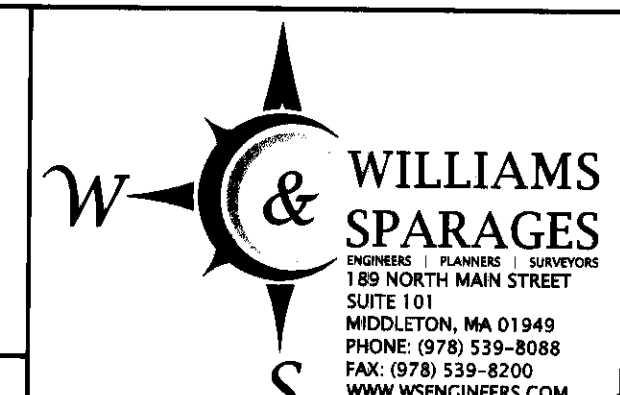
DEFINITIVE SUBDIVISION PLAN MAJOR BOYD DRIVE WEST NEWBURY, MA

OWNER/APPLICANT/SUBDIVIDER:
DEER RUN LAND DEVELOPMENT, LLC
6 MECHANIC STREET
KENNEBUNK, ME 04043
DEED BOOK 37836 PAGE 411
DEED BOOK 37877 PAGE 554

ASSESSOR'S REFERENCE:
ASSESSOR'S MAP R14
LOTS 36 & 54



JUNE 30, 2020



GRADING, DRAINAGE & UTILITIES PLAN 3 OF 3
SHEET 9 OF 15

WEST NEWBURY PLANNING BOARD

[Signature]
[Signature]
[Signature]
[Signature]
[Signature]

DATE: 06/14/2021

PLANNING BOARD ENDORSEMENT DOES NOT REFLECT ZONING COMPLIANCE.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE.

[Signature]
WEST NEWBURY TOWN CLERK
DATE: 6-14-2021

I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARAGES LLC.

Phillip A. Tetman, P.L.S.
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR LICENSE #51910

6/14/2021
DATE

#327
6/16/2021
39986-378

(15 PLANS)

FOR REGISTRY USE ONLY

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN

WILLIAMS & SPARGES LLC

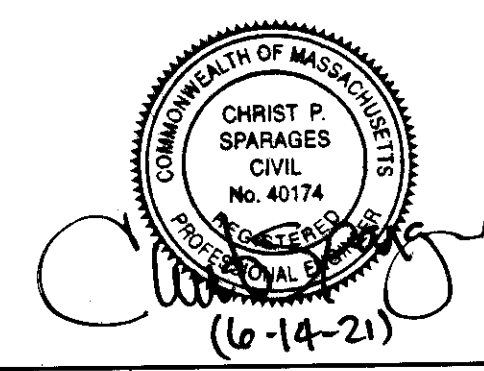
WEST NEWBURY PLANNING BOARD

[Signatures]
DATE: 6/16/2021

PLANNING BOARD ENDORSEMENT DOES NOT REFLECT ZONING COMPLIANCE.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE

WEST NEWBURY TOWN CLERK DATE: 6-17-2021

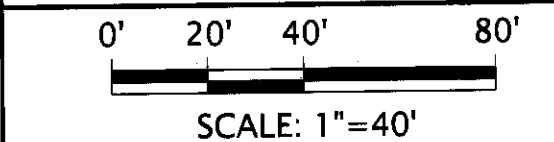


NO.	REVISION	DATE
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DEFINITIVE SUBDIVISION PLAN MAJOR BOYD DRIVE WEST NEWBURY, MA

OWNER/APPLICANT:
DEER RUN LAND DEVELOPMENT LLC
6 MECHANIC STREET
KENNEBUNK, ME 04043
DEED BOOK 37836 PAGE 411
DEED BOOK 37877 PAGE 554

ASSESSOR'S REFERENCE:
ASSESSOR'S MAP R14
LOTS 36 & 54



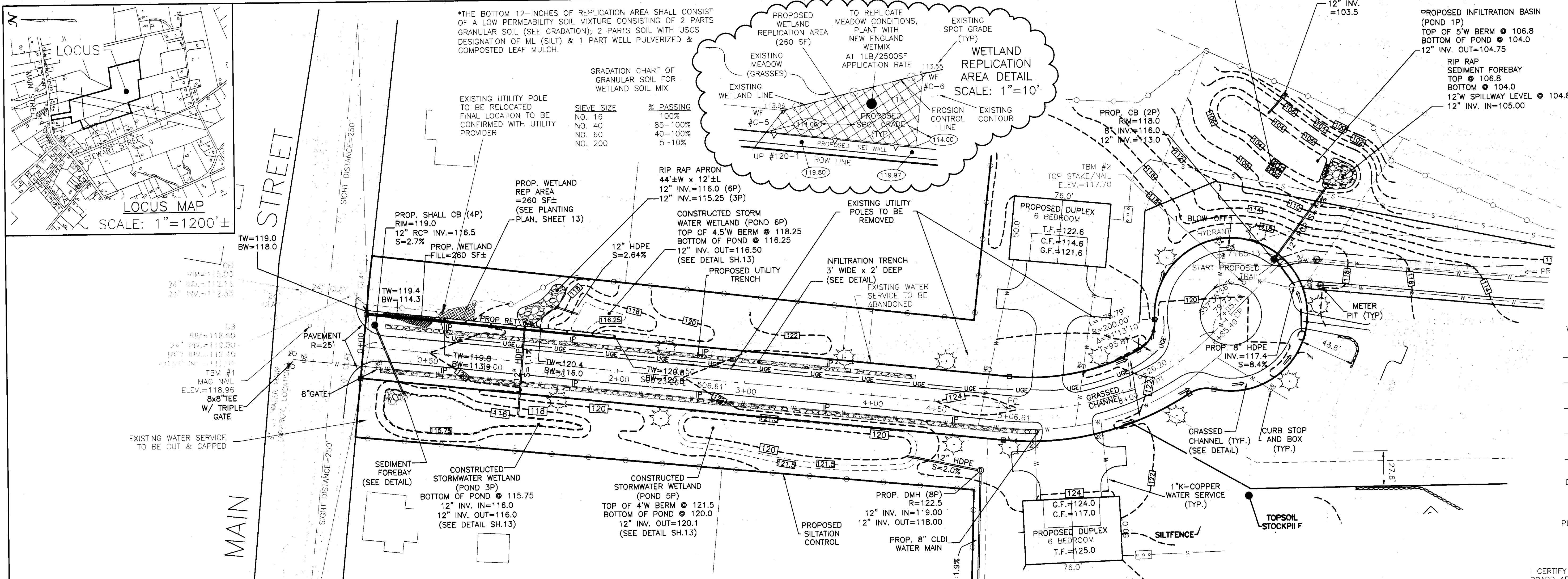
SCALE: 1"=40'

JUNE 30, 2020

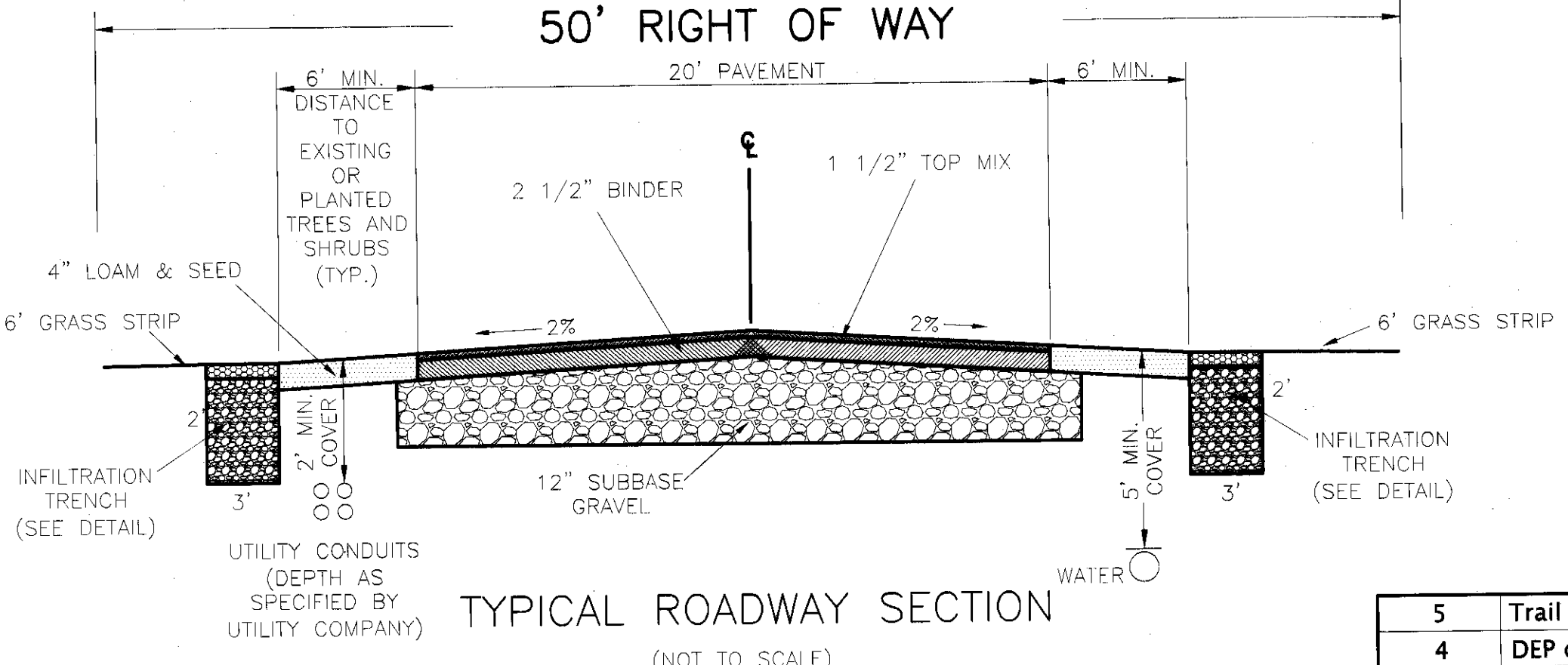


STREET PLAN & PROFILE 1 OF 1

SHEET 10 OF 15



PLAN VIEW:
SCALE: 1" = 40' (HOR)
1" = 4' (VERT)

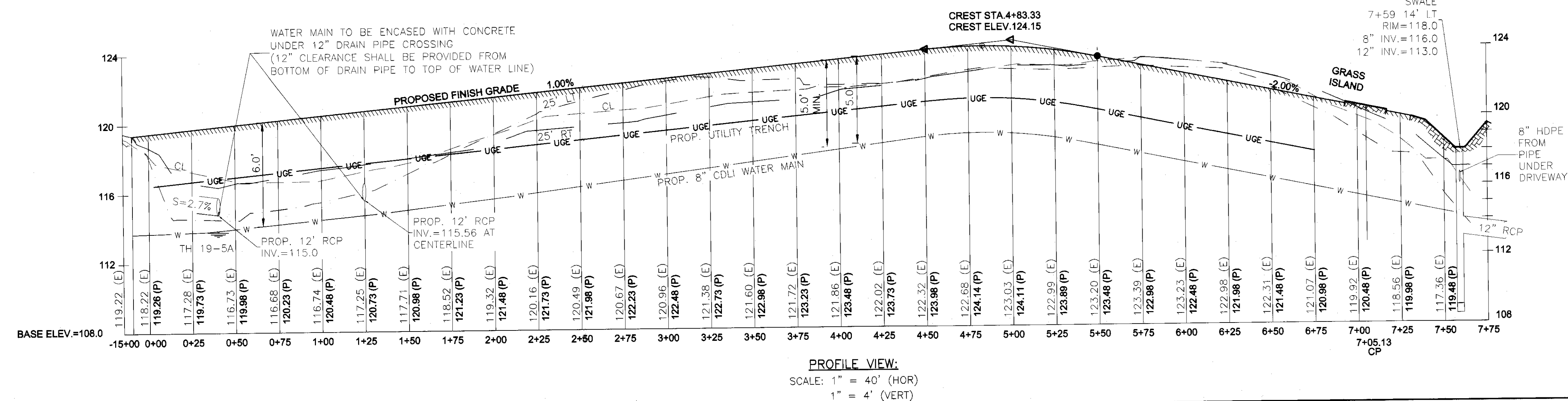


TYPICAL ROADWAY SECTION
(NOT TO SCALE)

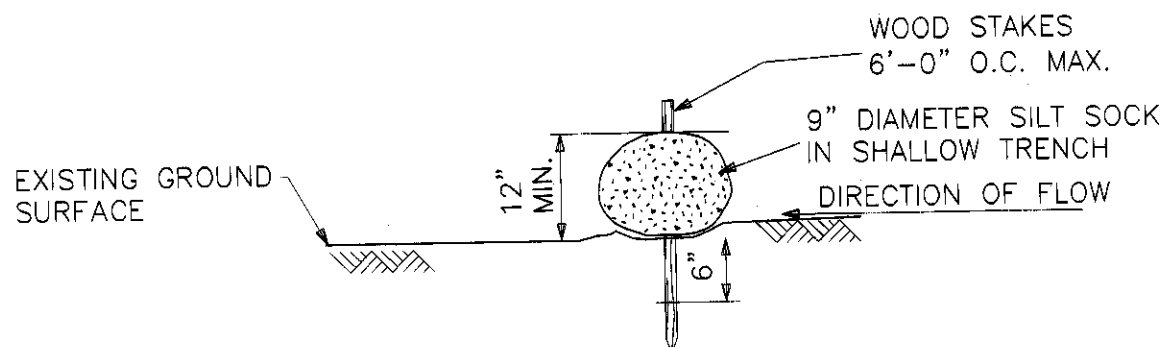
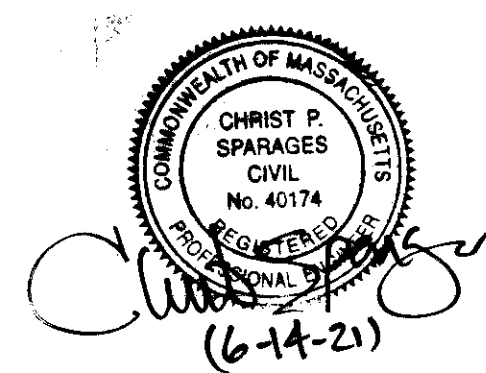
- PLAN NOTES:**
- ELEVATIONS BASED ON NAVD88 DERIVED FROM GPS OBSERVATIONS 7-11-2019.
 - ALL EXISTING AND PROPOSED TRAILS SHALL BE OPEN TO THE PUBLIC SUBJECT TO A NON-MOTORIZED TRAIL EASEMENT TO BE GRANTED TO ESSEX COUNTY TRAIL ASSOCIATION, INC.

ELEVATION BENCH MARKS:

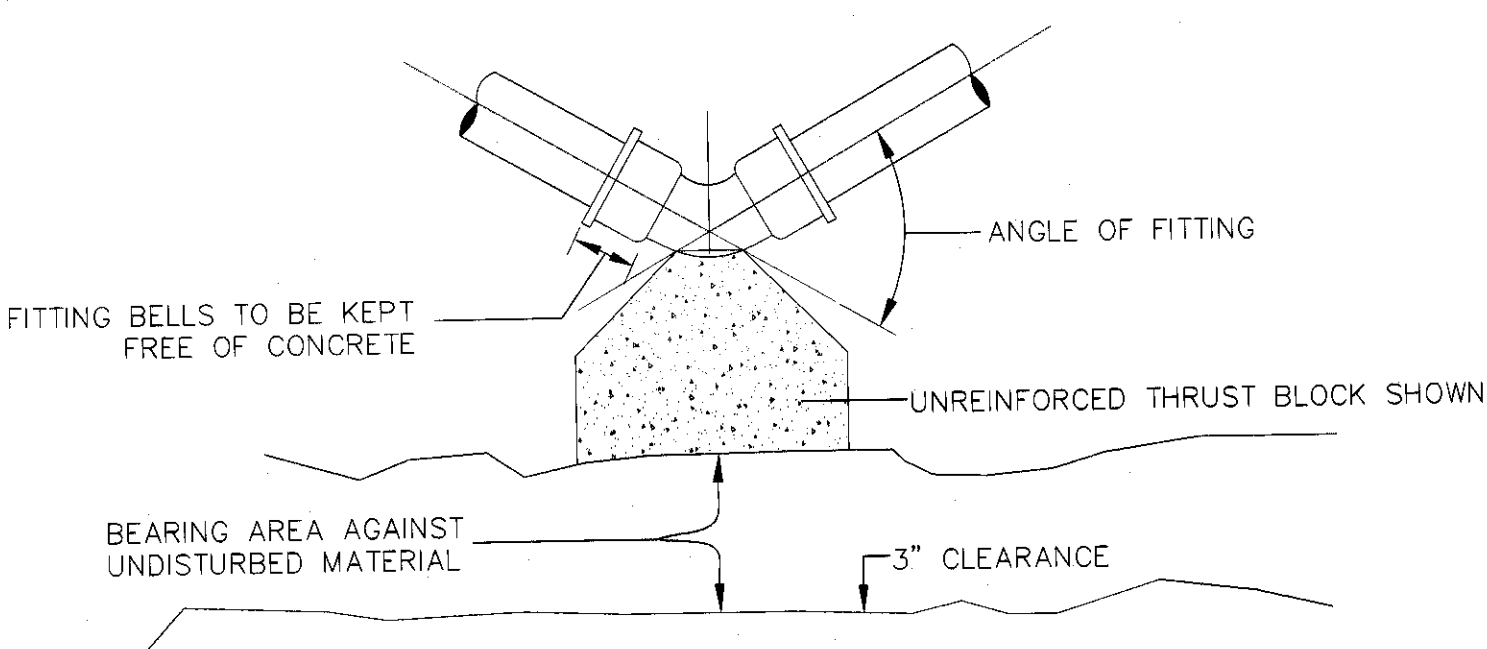
- TOP MAG NAIL 4' WESTERLY OF UTILITY POLE #275 ON MAIN STREET. ELEVATION = 118.96
- TOP STAKE & NAIL STATION 7+30 9' LEFT ELEVATION = 117.70



PROFILE VIEW:
SCALE: 1" = 40' (HOR)
1" = 4' (VERT)



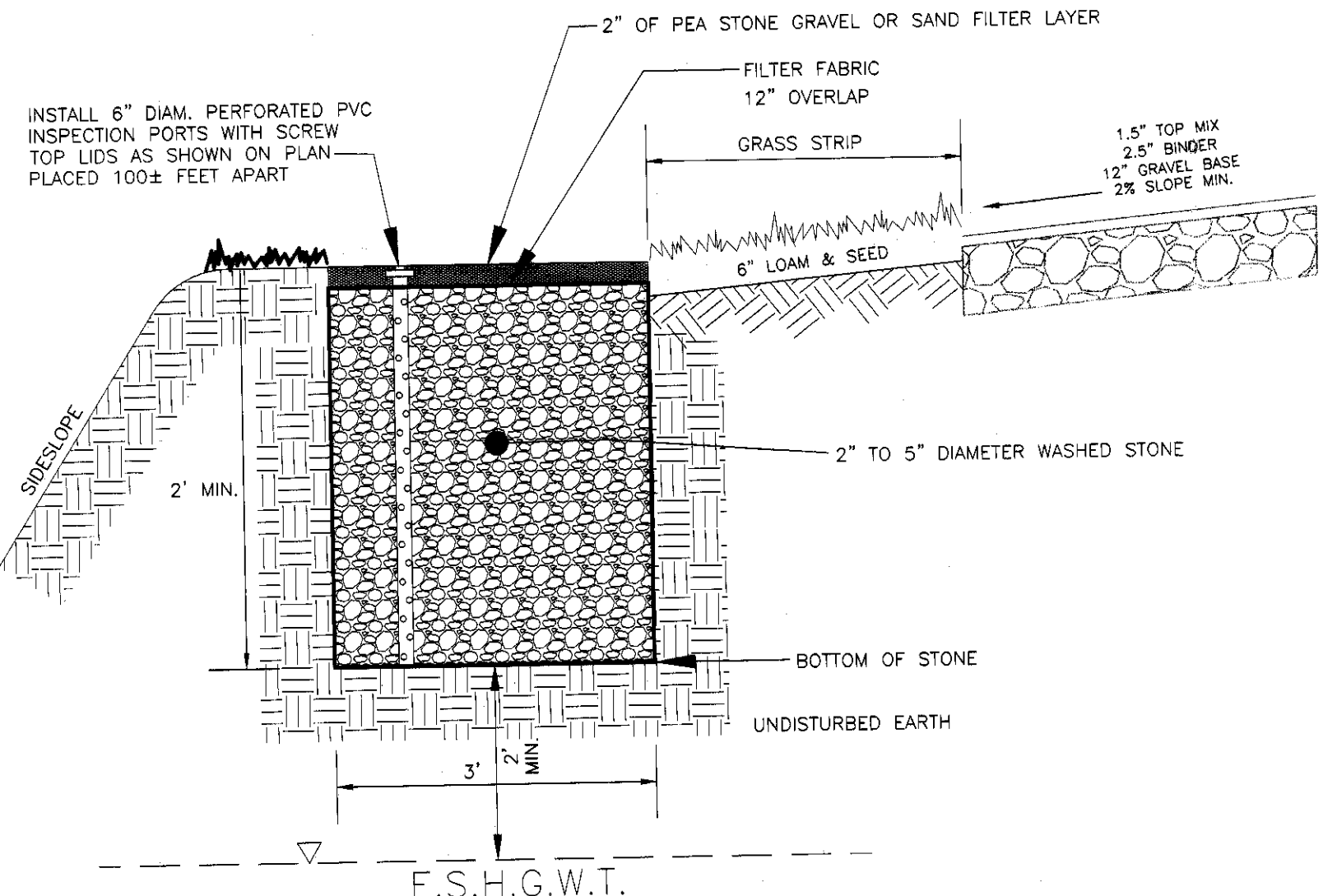
EROSION CONTROL SILT SOCK
DETAIL
(NOT TO SCALE)



NOTE:
1. ALL TEES, PLUGS AND BENDS SHALL BE BLOCKED AGAINST FIRM EARTH WITH CLASS C CONCRETE.

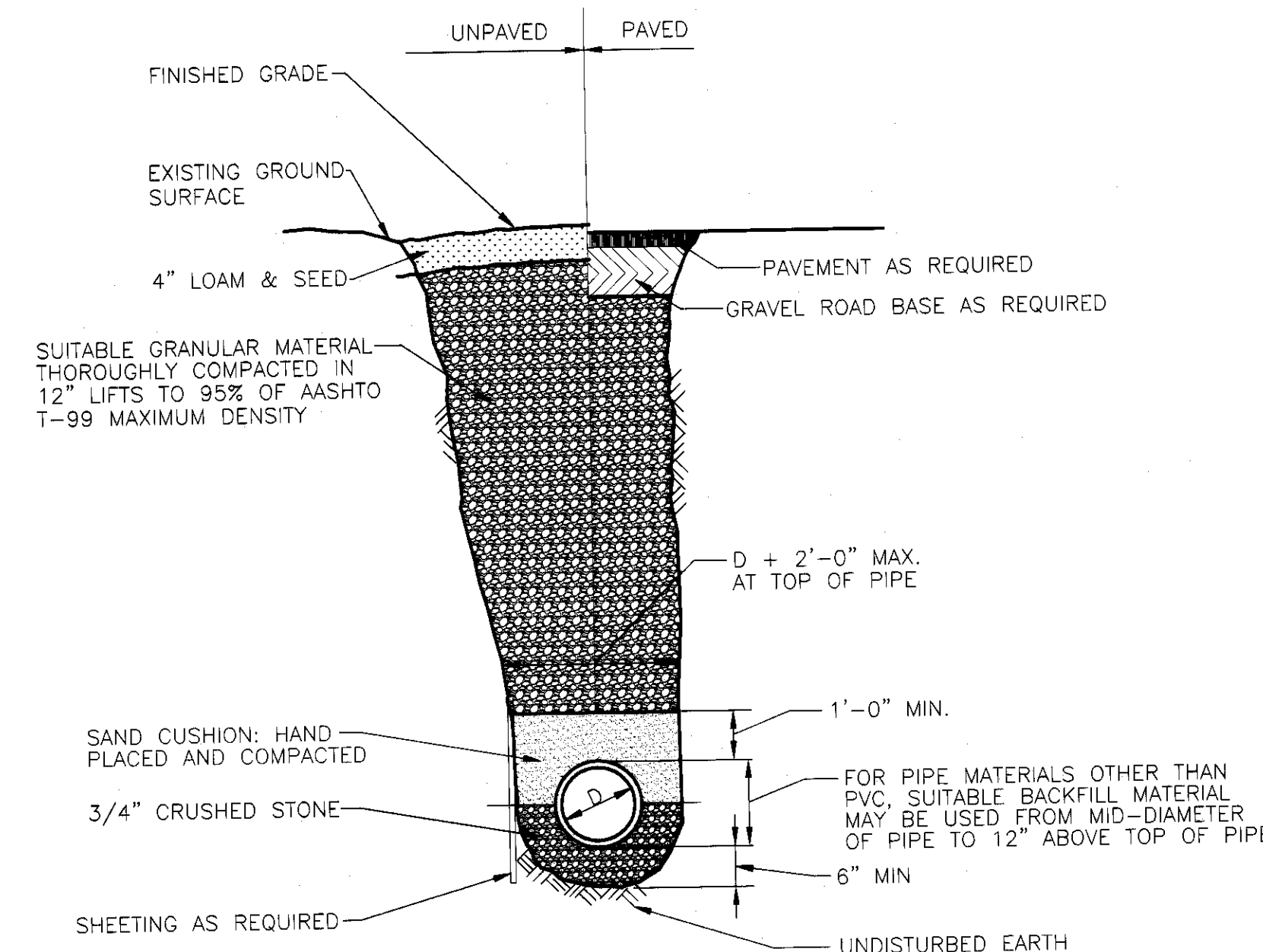
MINIMUM BEARING FACE AREA FOR CONCRETE THRUST BLOCK			
PIPE DIAMETER INCHES	6 in.	8 in.	12 in.
HYDRANTS, PLUGS, CAPS, AND TEES (S.F.)	4	4	9
90° (S.F.)	6	6	12
45° (S.F.)	3	3	7
22 1/2° (S.F.)	3	3	7
11 1/4° (S.F.)	3	3	7

THRUST BLOCK
DETAIL
(NOT TO SCALE)

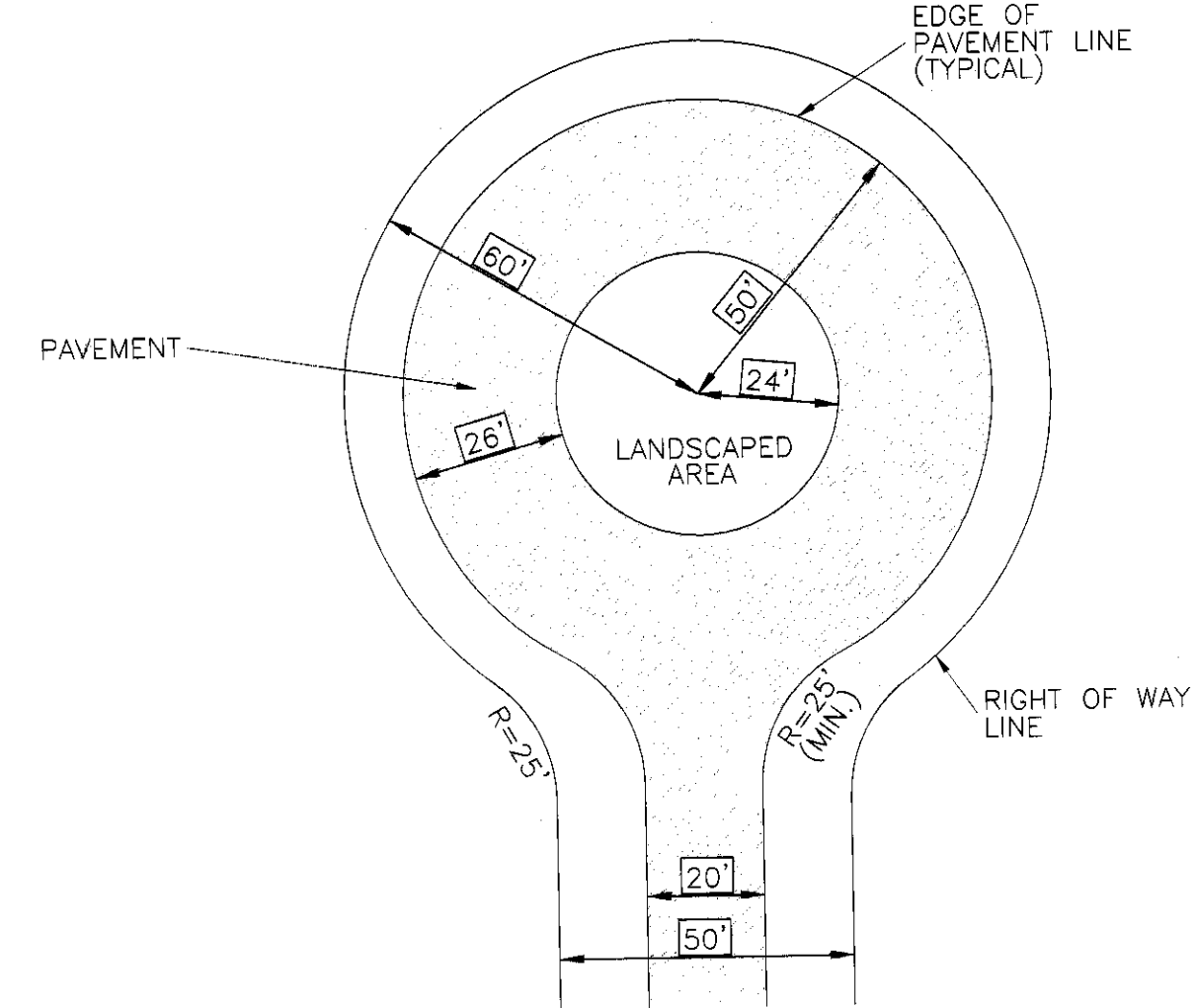


INFILTRATION TRENCH ALONG
MAJOR BOYD DRIVE
DETAIL
(NOT TO SCALE)

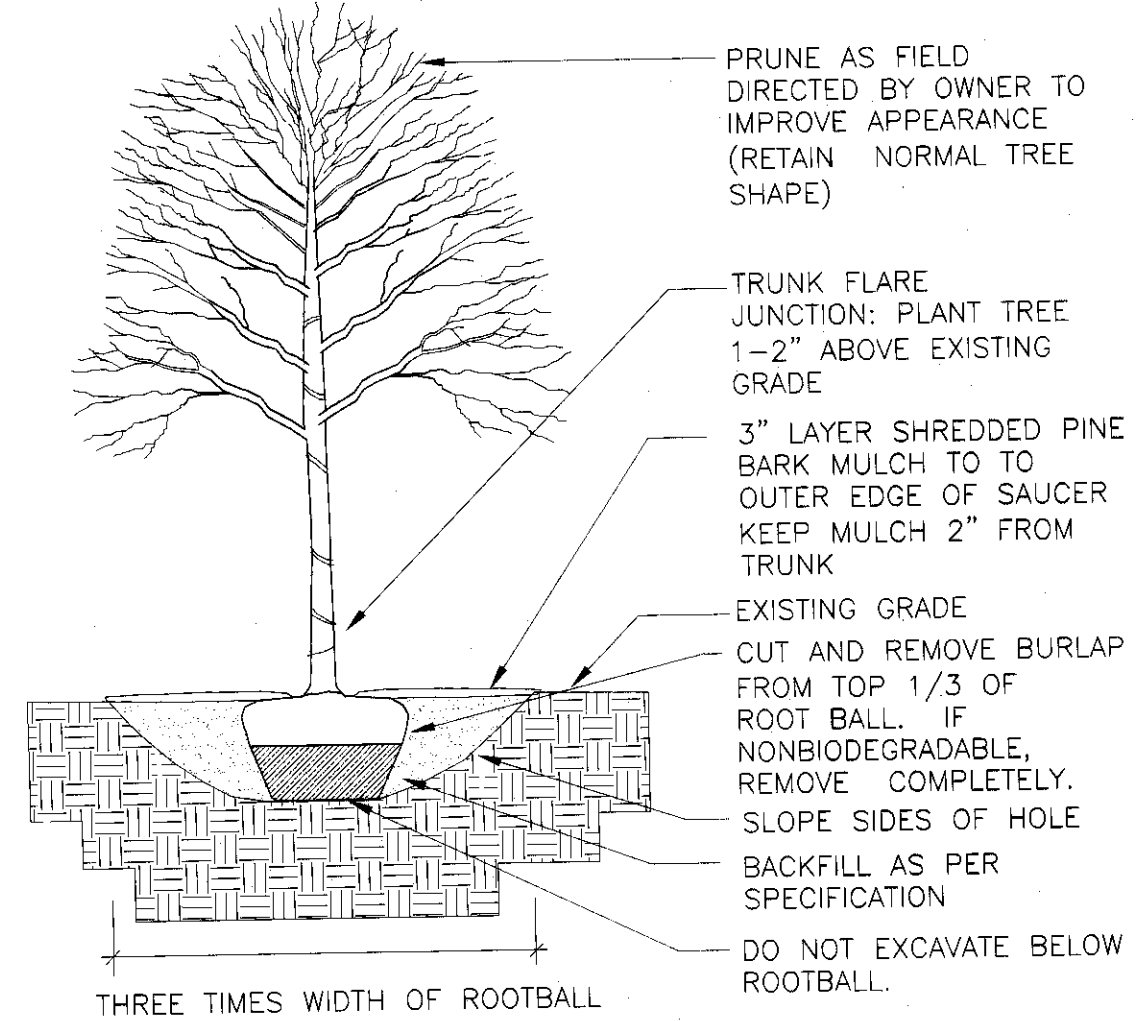
NOTE: SEE PLAN VIEW FOR PROPOSED LOCATION.



TRENCH DETAIL
(NOT TO SCALE)

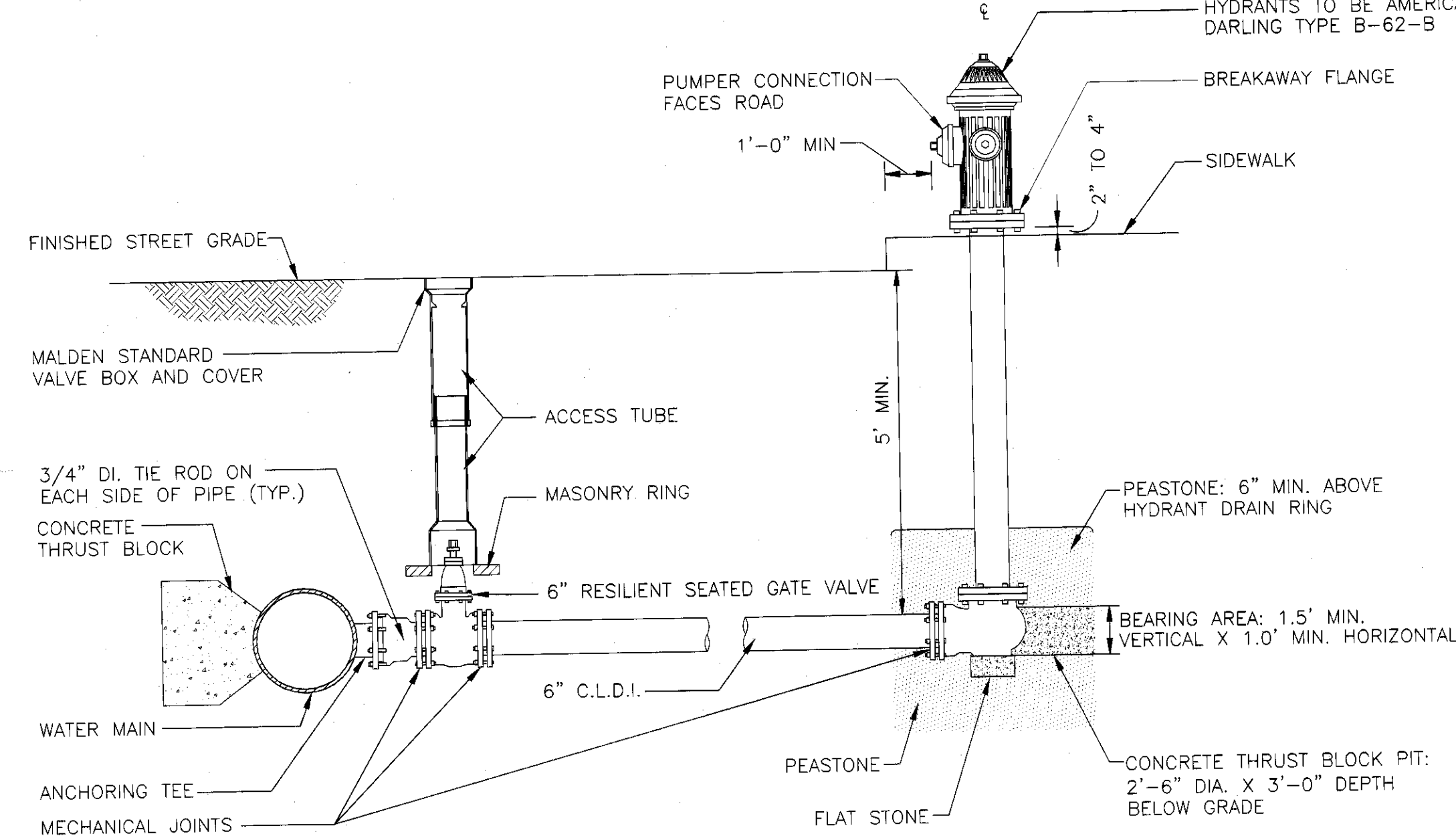


CUL-DE-SAC
GEOMETRICS
DETAIL
(NOT TO SCALE)

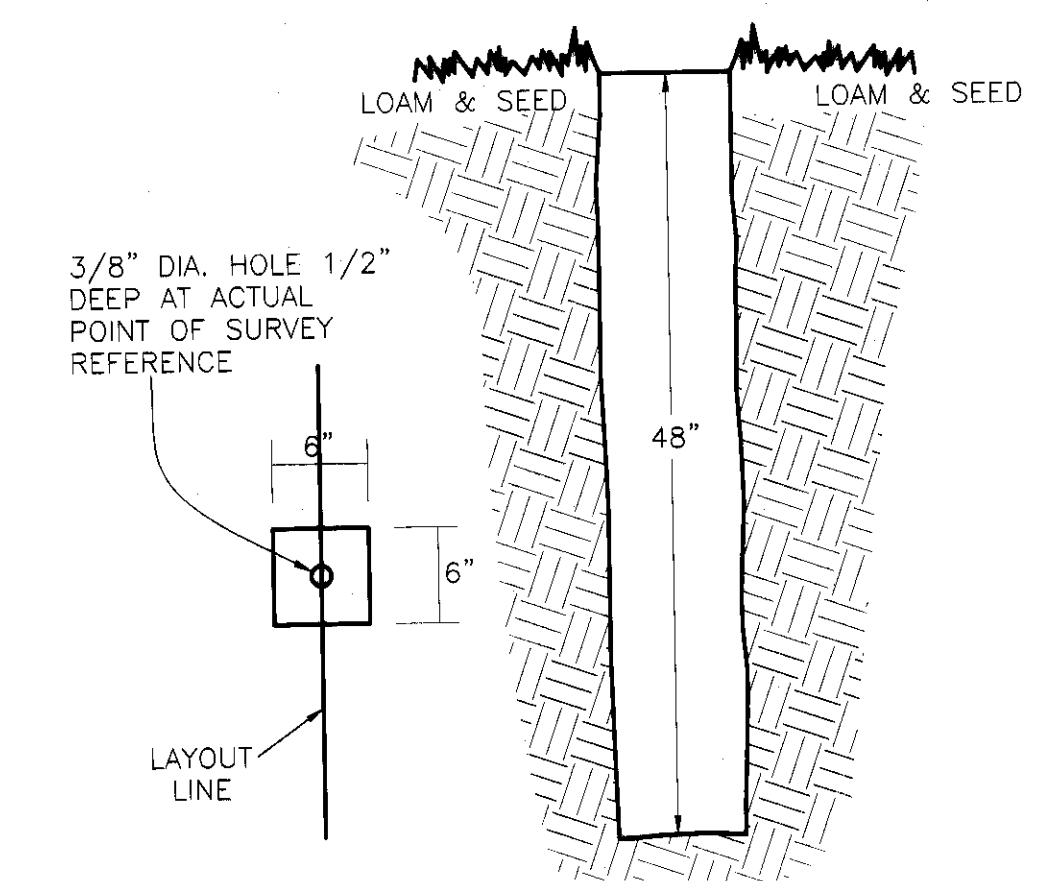


TYPICAL DECIDUOUS
STREET PLANTING TREE
DETAIL
(NOT TO SCALE)

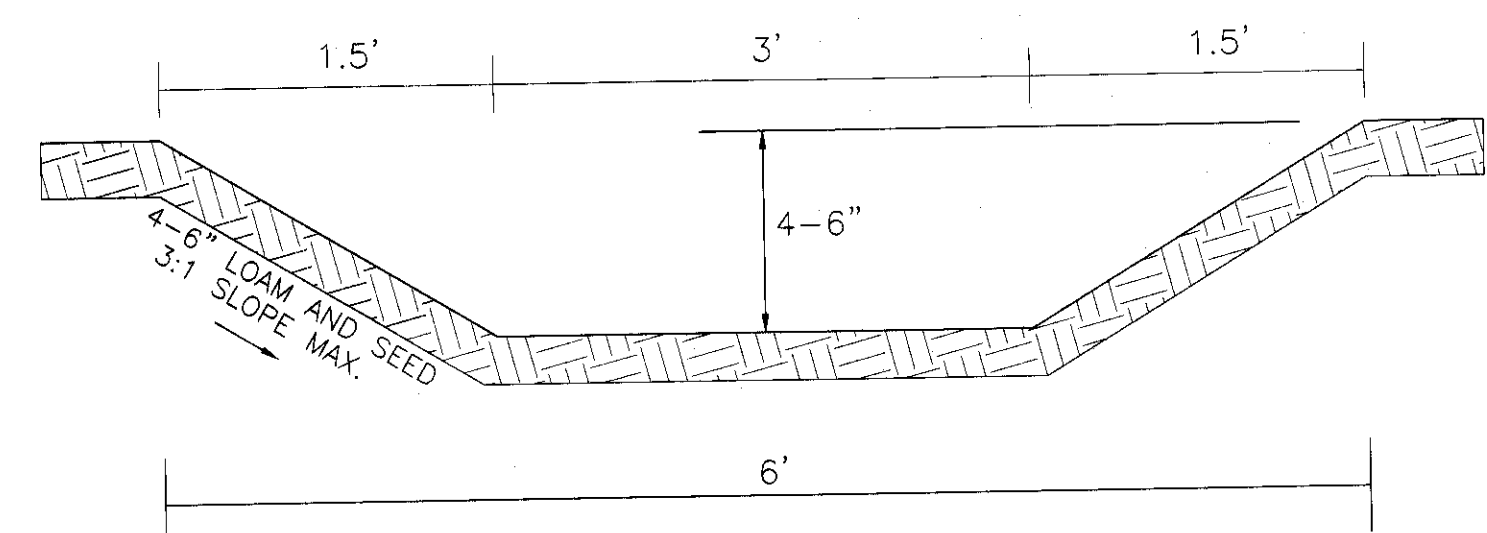
NOTE:
ALL MATERIALS MUST BE PRE-APPROVED BY
THE WEST NEWBURY WATER DIVISION.



TYPICAL FIRE HYDRANT
DETAIL
(NOT TO SCALE)

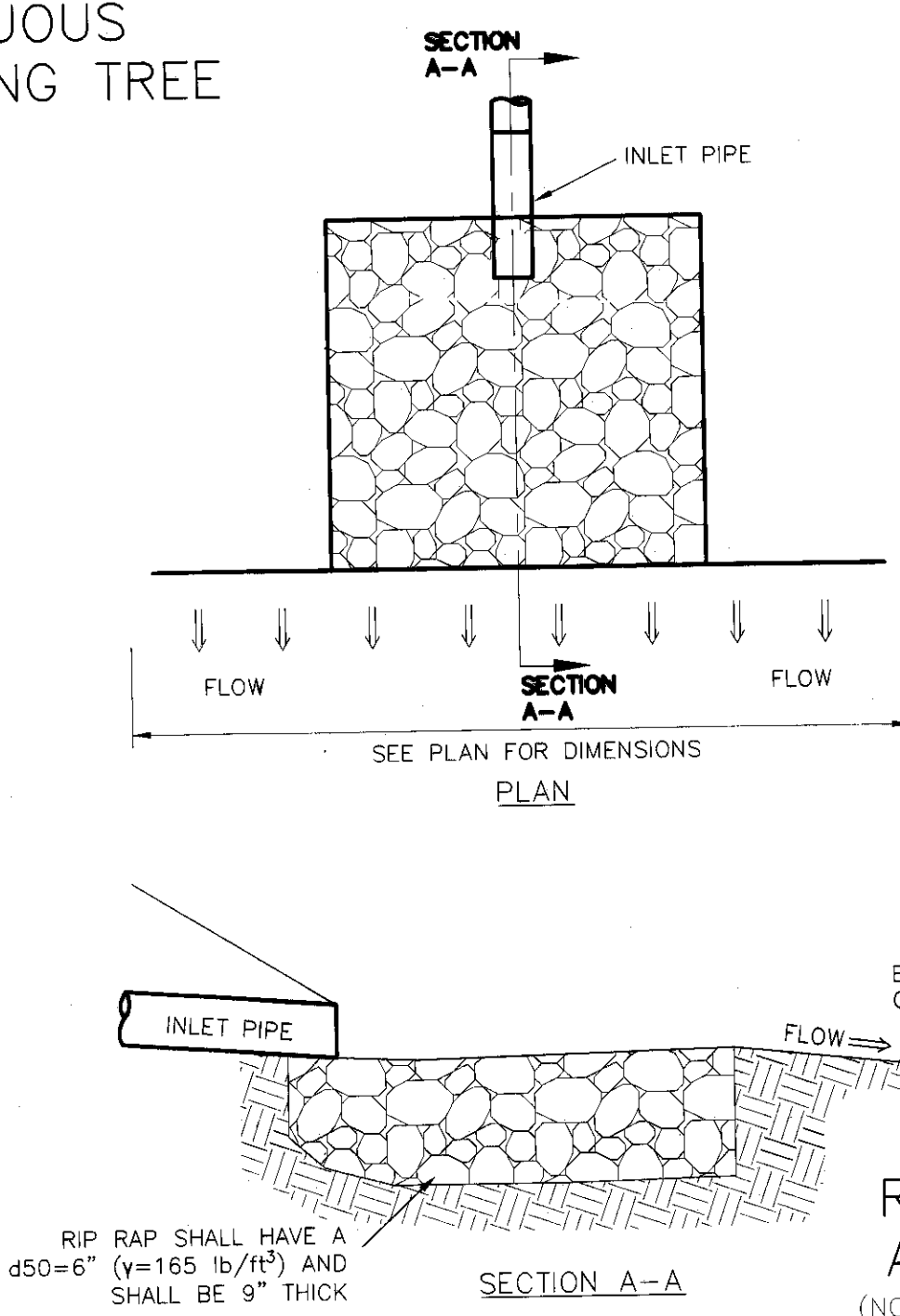


GRANITE BOUND
DETAIL
(NOT TO SCALE)



GRASSSED CHANNEL
(NOT TO SCALE)

NOTE: SEE PLAN VIEW FOR PROPOSED LOCATION.



RIPRAP
APRON
(NOT TO SCALE)

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NO.	REVISION	DATE

DEFINITIVE SUBDIVISION PLAN
MAJOR BOYD DRIVE
WEST NEWBURY, MA

OWNER/APPLICANT:
DEER RUN LAND DEVELOPMENT LLC
6 MECHANIC STREET
KENNEBUNK, ME 04043
DEED BOOK 37836 PAGE 411
DEED BOOK 37877 PAGE 554

ASSESSOR'S REFERENCE:
ASSESSOR'S MAP R14
LOTS 36 & 54

SCALE: 1"=40'

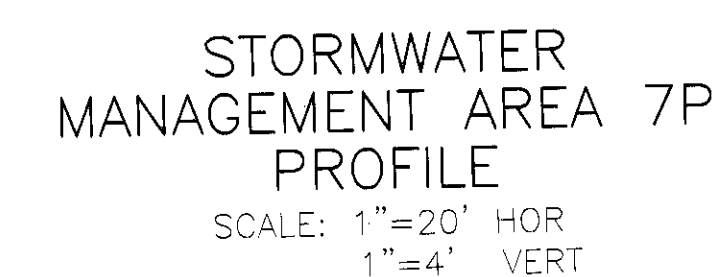
JUNE 30, 2020



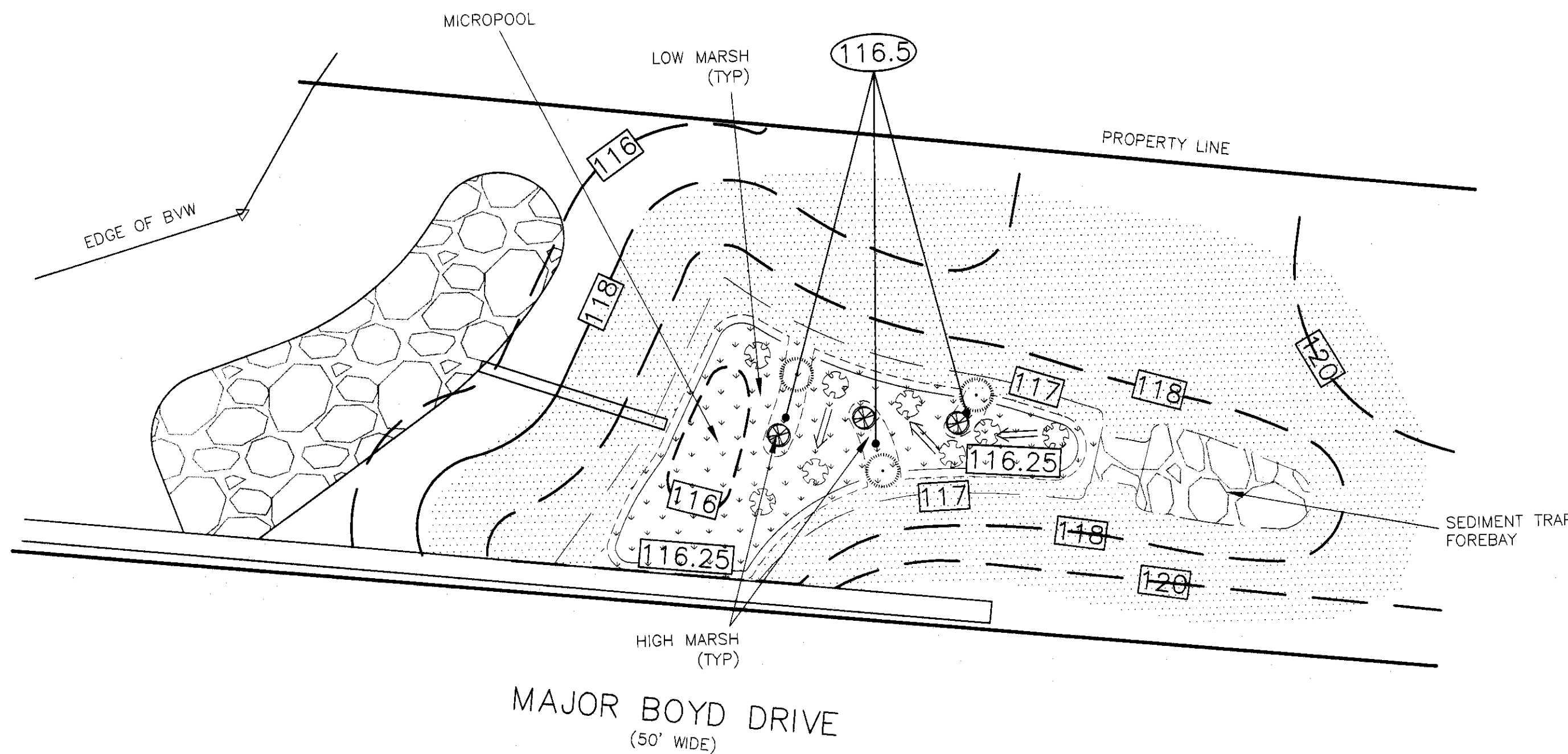
DETAIL SHEET 1 OF 3

SHEET 11 OF 15

SHEET 12 OF 15



SHEET 12 OF 15

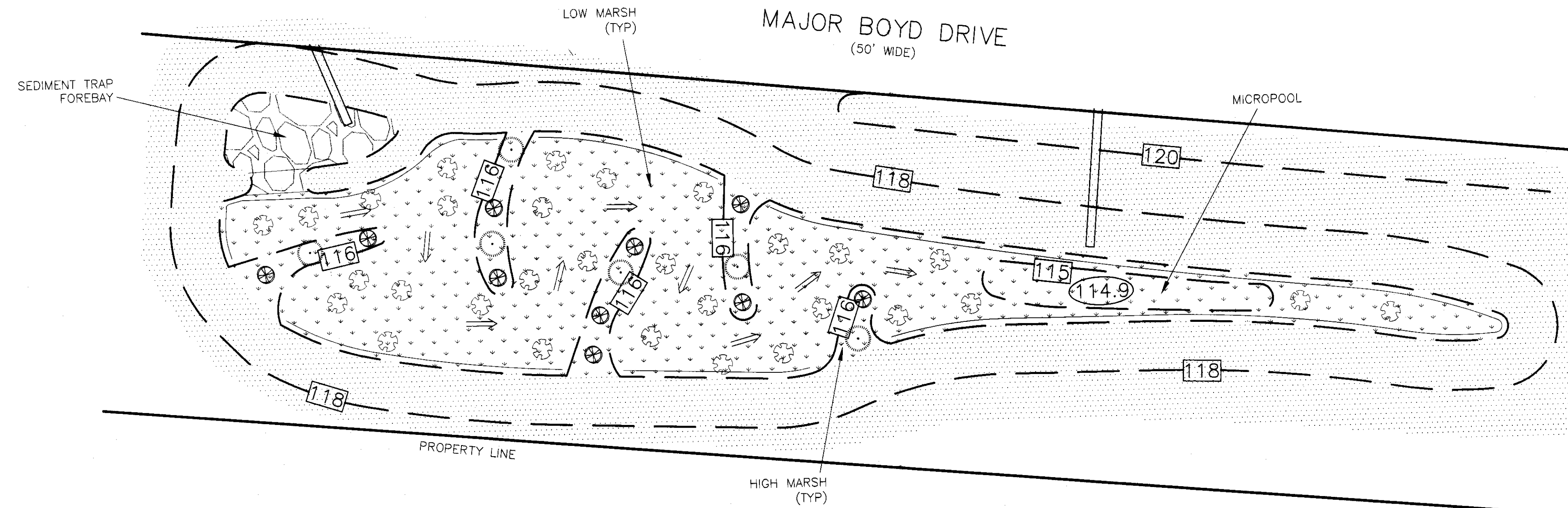


POCKET WETLAND (POND 6P) DETAIL

SCALE: 1"=10'

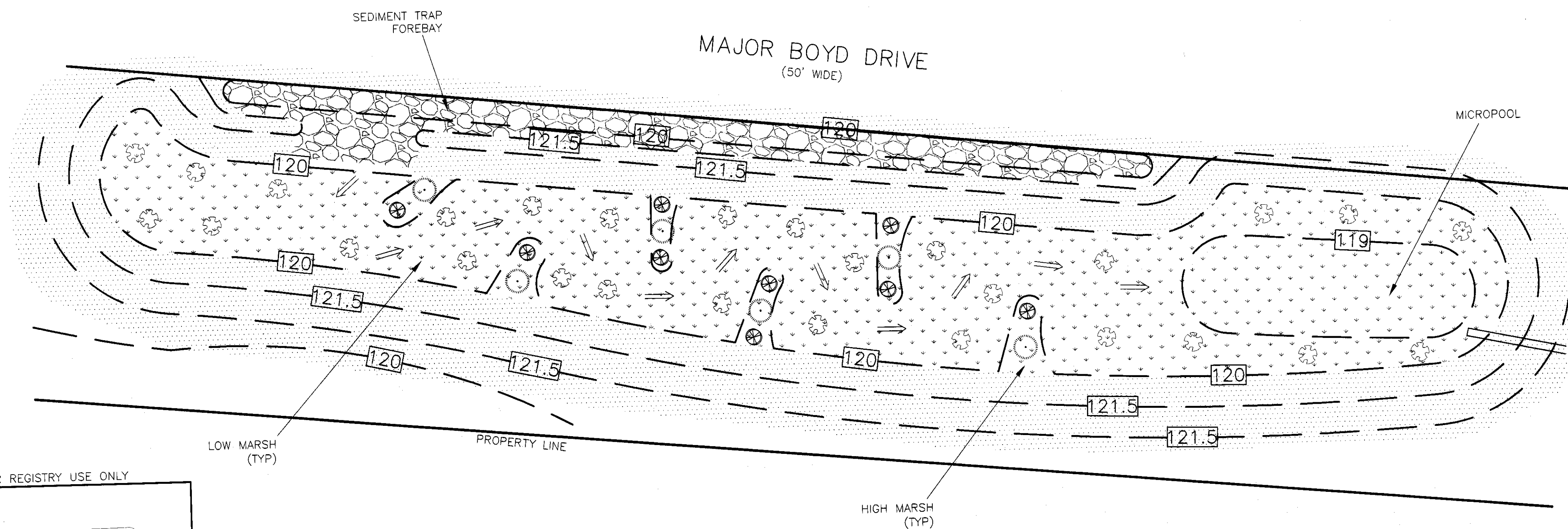
PLANTING SCHEDULE

- DENOTES SOFT STEM BULRUSH TO BE PLANTED IN THE "LOW MARSH" AREA.
- DENOTES Highbush BLUEBERRY TO BE PLANTED IN THE "HIGH MARSH" AREA.
- DENOTES RED-OSIER DOGWOOD TO BE PLANTED ABOVE THE "HIGH MARSH" AREA.
- DENOTES AREA TO BE SEEDED WITH "NEW ENGLAND WET MIX"
- DENOTES AREA TO BE SEEDED WITH MIXTURE OF GRASS SEEDS CAPABLE OF WITHSTANDING PERIODIC INUNDATION AND DROUGHT.



POCKET WETLAND (POND 3P) DETAIL

SCALE: 1"=10'



POCKET WETLAND (POND 5P) DETAIL

SCALE: 1"=10'

CHRIST P. SPARGES
CIVIL
No. 40174
6-14-2021

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE

WEST NEWBURY TOWN CLERK DATE: 6-14-2021

WEST NEWBURY PLANNING BOARD

DATE: 6/14/2021

PLANNING BOARD ENDORSEMENT DOES NOT REFLECT ZONING COMPLIANCE.

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DEFINITIVE SUBDIVISION PLAN
MAJOR BOYD DRIVE
WEST NEWBURY, MA

OWNER/APPLICANT:
DEER RUN LAND DEVELOPMENT LLC
6 MECHANIC STREET
KENNEBUNK, ME 04043
DEED BOOK 37836 PAGE 411
DEED BOOK 37877 PAGE 554

ASSESSOR'S REFERENCE:
ASSESSOR'S MAP R14
LOTS 36 & 54

0' 5' 10' 20'
SCALE: 1"=10'

JUNE 30, 2020

WILLIAMS & SPARGES
ENGINEERS, PLANNERS, SURVEYORS
180 NORTH MAIN STREET
SUITE 101
MIDDLETON, MA 01948
PHONE: (978) 539-8088
FAX: (978) 539-8200
WWW.WSENGINEERS.COM

DETAIL SHEET 3 OF 3

SHEET 13 OF 15

FOR REGISTRY USE ONLY

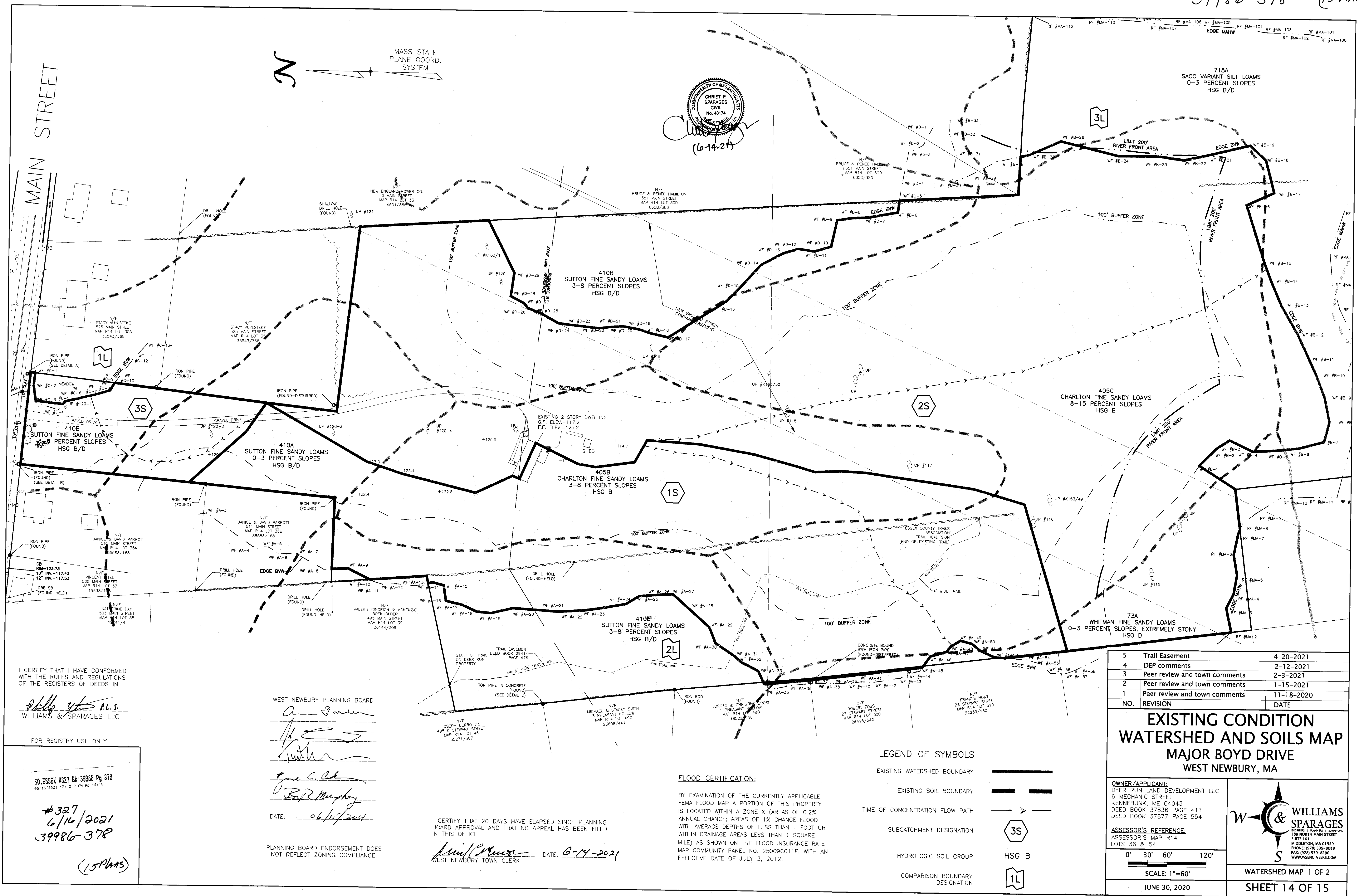
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06/16/2021 12:12 PLR Pg: 13/15

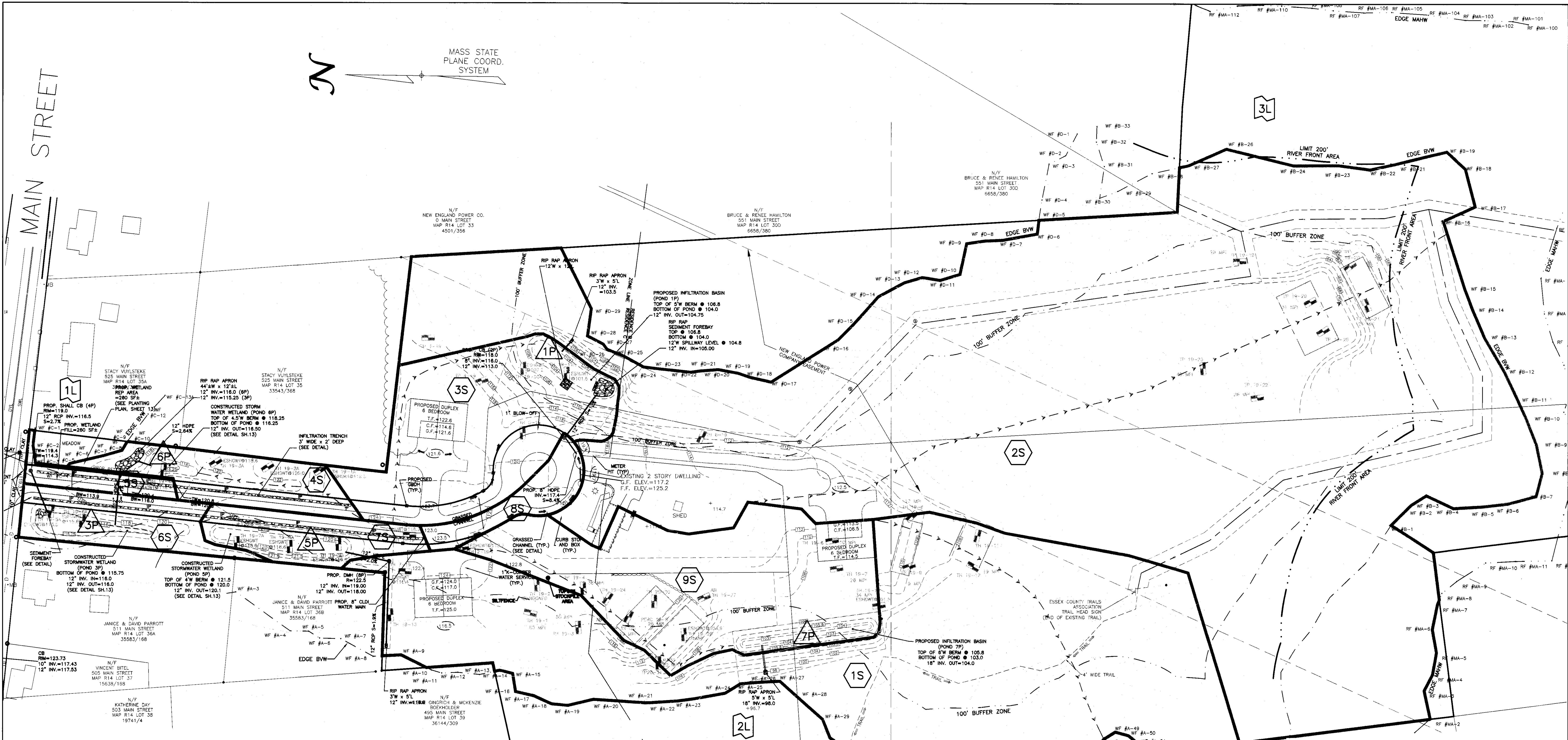
#327
6/16/2021
39986-378

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN

WILLIAMS & SPARGES LLC

(15 PLANS)





WEST NEWBURY PLANNING BOARD

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN

FOR REGISTRY USE ONLY

DATE: 06/15/2021

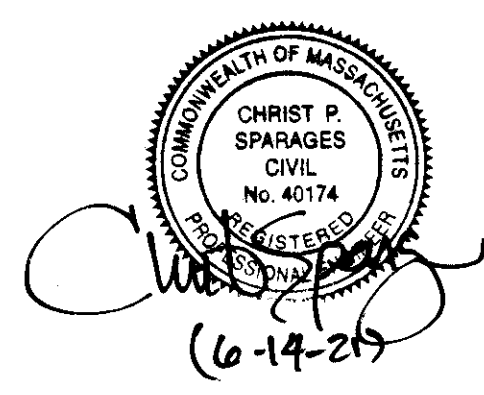
SO. ESSEX #327 Bk: 39986 Pg: 378
06/16/2021 12:12 PLAN Pg 15/15

#327
6/16/2021
39986-378
(15 PLANS)

PLANNING BOARD ENDORSEMENT DOES NOT REFLECT ZONING COMPLIANCE.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE

DATE: 6-14-2021



LEGEND OF SYMBOLS

PROPOSED WATERSHED BOUNDARY

TIME OF CONCENTRATION FLOW PATH

SUBCATCHMENT DESIGNATION

COMPARISON BOUNDARY DESIGNATION

PROPOSED STORMWATER MANAGEMENT AREA DESIGNATION

5	Trail Easement	4-20-2021
4	DEP comments	2-12-2021
3	Peer review and town comments	2-3-2021
2	Peer review and town comments	1-15-2021
1	Peer review and town comments	11-18-2020
NO.	REVISION	DATE

PROPOSED CONDITION WATERSHED MAP MAJOR BOYD DRIVE WEST NEWBURY, MA

OWNER/APPLICANT:
DEER RUN LAND DEVELOPMENT LLC
6 MECHANIC STREET
KENNEBUNK, ME 04043
DEED BOOK 37836 PAGE 411
DEED BOOK 37877 PAGE 554

ASSESSOR'S REFERENCE:
ASSESSOR'S MAP R14
MAP R14 LOT 510
22259/180

SCALE: 1"=60'

JUNE 30, 2020

WILLIAMS & SPARAGES
ENGINEERS, PLANNERS, SURVEYORS
189 NORTH MAIN STREET
SUITE 101
MIDDLETON, MA 01949
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WATERSHED MAP 2 OF 2
SHEET 15 OF 15